



**WALNUT CREEK
COMMUNITY DEVELOPMENT
DISTRICT**

**BROWARD COUNTY
REGULAR BOARD MEETING
JANUARY 21, 2025
6:00 P.M.**

Special District Services, Inc.
8785 SW 165th Avenue, Suite 200
Miami, FL 33024

www.walnutcreekcdd.org
786.347.2711 ext. 2011 Telephone
877.SDS.4922 Toll Free
561.630.4923 Facsimile

AGENDA
WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT
Walnut Creek Clubhouse
7500 NW 20th Street Pembroke Pines, Florida 33024
REGULAR BOARD MEETING
January 21, 2025
6:00 p.m.

A. Call to Order	
B. Proof of Publication	Page 1
C. Welcome and Seat Board Members	
D. Administer Oath of Office & Review Board Member Responsibilities and Duties	
E. Establish Quorum	
F. Election of Officers	
• Chairman	
• Vice Chairman	
• Secretary/Treasurer	
• Assistant Secretaries	
G. Additions or Deletions to Agenda	
H. Comments from the Public for Items Not on the Agenda	
I. Approval of Minutes	
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K. New/Additional Business	
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4. Consider Approval of Extension to the Agreement with Crystal Pools	
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6. Landscaping and Irrigation	
a. Review of Earth Advisors Landscaping Report.....	Page 61
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c. Discussion Regarding the Current Conditions of the District Common Area Landscaping and Irrigation	
d. Consider Approval of the Earth Advisors Irrigation Wet Test and Mapping of System.....	Page 110
7. Discuss Landshore Findings on the Erosion & Sediment Control Plan for Canal Updated Survey and Plans.....	Page 113
8. Ratify and Approve Crystal Pools Est. 178206 East Waterfall Filter Pump Motor.....	Page 114
9. Ratify and Approve Hall Fountains East & West Waterfall Light Fixtures and Installations.....	Page 116
10. Ratify and Approve Regions Est. 2024-1769 Sheridan Right Entrance Loop.....	Page 117
11. Ratify and Approve Regions Est. 2024-1778 Taft Resident Entrance LED Light Replacement.....	Page 118
12. Ratify and Approve Shekinah Est. 6520 Fence Repairs Along NW 72 nd Avenue.....	Page 119
13. Ratify and Approve Tirone Proposal 6D24-148 East & West Waterfall Breakers Replacement.....	Page 127
14. Ratify and Approve Tirone Proposal 6D24-150 Taft Guardhouse and Street Lighting Repairs.....	Page 129
15. Ratify and Approve Tirone Proposal 6D24-209 Sheridan Street Light Fixture Replacement.....	Page 132

L. Security Systems/Services

1. Region's Security Report.....Page 135
 - a. Update on the Click2Enter Access Systems Upgrade
 - b. Update on the Sheridan Street Pedestrian Gate Keypad System Project
2. Security Administrator Updates and Reports:
 - a) Gate Maintenance/Service Report (*provided via handout*)
 - b) Invoice Report (*provided via handout*)
 - c) Incident Report (*provided via handout*)

M. Old Business

N. Additional Staff Updates/Requests

1. Attorney
2. District Manager

O. Additional Board Member/Public Comments

P. Adjourn

www.walnutcreekcdd.org

Sold To:

Walnut Creek Community Development District - CU80173075
2501 Burns Rd, Ste A
Palm Beach Gardens, FL 33410-5207

Bill To:

Walnut Creek Community Development District - CU80173075
2501 Burns Rd, Ste A
Palm Beach Gardens, FL 33410-5207

Published Daily

Fort Lauderdale, Broward County, Florida
Boca Raton, Palm Beach County, Florida
Miami, Miami-Dade County, Florida

State Of Florida
County Of Orange

Before the undersigned authority personally appeared
Rose Williams, who on oath says that he or she is a duly authorized representative of the SUN- SENTINEL,
a DAILY newspaper published in BROWARD/PALM BEACH/MIAMI-DADE County, Florida; that the
attached copy of advertisement, being a Legal Notice in:

The matter of 11720-Notice of Public Meeting .
Was published in said newspaper by print in the issues of, and by publication on the
newspaper's website, if authorized on Sep 30, 2024
SSC_Notice of Public Meeting
Affiant further says that the newspaper complies with all legal requirements for
publication in Chapter 50, Florida Statutes.

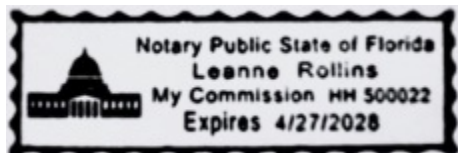


Signature of Affiant

Sworn to and subscribed before me this: October 01, 2024.



Signature of Notary Public



Name of Notary, Typed, Printed, or Stamped
Personally Known (X) or Produced Identification ()

Affidavit Delivery Method: E-Mail
Affidavit Email Address: LArcher@sdsinc.org
7701258

**WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT
FISCAL YEAR 2024/2025 REGULAR
MEETING SCHEDULE**

NOTICE IS HEREBY GIVEN that the Board of Supervisors of the Walnut Creek Community Development District will hold Regular Meetings at 6:00 p.m. at the Walnut Creek Community Clubhouse, 7500 NW 20th Street, Pembroke Pines, Florida 33024 on the following dates:

October 15, 2024
January 21, 2025
March 18, 2025
April 15, 2025
May 20, 2025
June 17, 2025
August 19, 2025

The purpose of the meetings is to conduct any business coming before the Board. Meetings are open to the public and will be conducted in accordance with the provisions of Florida law. Copies of the Agendas for any of the meetings may be obtained by contacting the District Manager at 786-347-2711 Ext. 2011 and/or toll free at 1-877-737-4922, five (5) days prior to the date of the particular meeting.

There may be occasions when one or two Supervisors will participate by telephone; therefore, a speaker telephone will be present at the meeting location so that Supervisors may be fully informed of the discussions taking place. Meetings may be continued as found necessary to a time and place specified on the record.

If any person decides to appeal any decision made with respect to any matter considered at these meetings, such person will need a record of the proceedings and such person may need to ensure that a verbatim record of the proceedings is made at his or her own expense and which record includes the testimony and evidence on which the appeal is based.

In accordance with the provisions of the Americans with Disabilities Act, any person requiring special accommodations or an interpreter to participate at any of these meetings should contact the District Manager at 786-347-2711 Ext. 2011 and/or toll free at 1-877-737-4922, at least seven (7) days prior to the date of the particular meeting.

Meetings may be cancelled from time to time without advertised notice.

WALNUT CREEK community development district

www.walnutcreekcdd.org
09/30/2024 7701258

**WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT
REGULAR BOARD MEETING
OCTOBER 15, 2024**

A. CALL TO ORDER

District Manager, Gloria Perez, called the October 15, 2024, Regular Board Meeting of the Walnut Creek Community Development District (the “District”) to order at 6:02 p.m. in the Walnut Creek Clubhouse located at 7500 NW 20th Street, Pembroke Pines, Florida 33024.

B. PROOF OF PUBLICATION

Proof of publication was presented that the notice of the Regular Board Meeting had been published in the *Sun Sentinel* on September 30, 2024, as part of the District’s Fiscal Year 2024/2025 Meeting Schedule, as legally required.

C. ESTABLISH A QUORUM

Mrs. Perez determined that the attendance of the following Supervisors constituted a quorum, and it was in order to proceed with the meeting: Chairperson Betty Ross, Vice Chairperson Elina Levenson and Supervisors Allan Beckmann, Zalman Kagan and Igor Fateyev.

Staff in attendance included: District Manager Gloria Perez of Special District Services, Inc.; and General Counsel Gregory George of Billing, Cochran, Lyles, Mauro & Ramsey, P.A.

Others present included: Messrs. Ruiz and Rubio of Regions Security; Ms. Moisa, Walnut Creek Association Property Manager; and several members of the public.

D. ADDITIONS OR DELETIONS TO THE AGENDA

A **MOTION** was made by Supervisor Fateyev and seconded by Supervisor Kagan approving and directing District management to purchase and provide bottles of water for the Board Members to have during meetings.

E. COMMENTS FROM THE PUBLIC FOR ITEMS NOT ON THE AGENDA.

There were no comments from the public about items not on the agenda.

F. APPROVAL OF MINUTES

1. August 20, 2024, Regular Board Meeting

The minutes from the August 20, 2024, Regular Board Meeting were presented for consideration.

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Beckmann and unanimously passed approving the minutes of the August 20, 2024, Regular Board Meeting, as presented.

G. ADMINISTRATIVE MATTERS

1. Financial Update

Financial Reports were presented in the meeting book and reviewed, which consist of the following: Monthly Financial Report-Operating Fund (actual revenues and expenditures with fund balances and availability); Check Registers; Balance Sheet; Debt Service Profit and Loss YTD Comparisons/Report(s); Tax/Assessment Collections; Expenditure Recap. Available Funds as of September 30, 2024, reflect \$1,623,069.88.

A motion for ratification of the financials or any further discussion was requested.

A **MOTION** was made by Supervisor Beckmann, seconded by Supervisor Levenson and passed unanimously ratifying and approving the financials, as presented.

2. Accept and Receive 2024 Engineer's Report

The annual engineer's report was presented in the meeting materials for the Board's review.

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Beckmann and unanimously passed accepting and receiving the District Engineer's 2024 Engineer's Report, as presented.

3. Consider Audit Renewal

Mrs. Perez reminded the Board that at the November 16, 2021, meeting the firm of Grau & Associates was selected to perform the 9-30-2021, 9-30-2022 and 9-30-2023 year end audits with an option to perform the 9-30-2024 and 9-30-2025 audits.

The fee for the 9-30-2021 audit was \$3,900; the fee for the 9-30-2022 audit was \$4,000; and the fee for the 9-30-2023 audit was \$4,100. The proposed fee for the 9-30-2024 audit is \$4,200, which is the budgeted amount for audit fees for Fiscal Year 2023/2024. The proposed fee for the 9-30-25 audit is \$4,300.

Management is pleased with the professionalism and competence of the Grau & Associates partners and staff; therefore, management recommends that the Board approve the renewal option for the Fiscal Year Ending 9-30-2024 and 9-30-2025 audits with Grau & Associates.

A **MOTION** was made by Supervisor Fateyev, seconded by Supervisor Beckmann and unanimously passed approving the 2-year audit renewal option with Grau & Associates for the Fiscal Years ending 9-30-2024 and 9-30-2025; and further approving the proposed fees for the 9-30-2024 audit in the amount of \$4,200, and the proposed fee for the 9-30-2025 audit which is \$4,300; and further authorizing District management to negotiate a lower price, if possible.

4. Broward County Supervisor of Elections' Update Regarding Qualified Candidates

Mrs. Perez advised the Board that pursuant to the Broward County Supervisor of Elections' website, there have been no changes to Incumbent Zalman Kagan holding Seat #4, as he still appears Active-Unopposed for the term starting in 2024.

As you are aware, Incumbent Elina Levenson did not qualify for Seat #5. Seat #5 originally had two (2) candidates that appeared as Active-Qualified on the website:

Mr. Sorin Cruceru, of whom it had been determined, does not reside within the District boundaries and who had since withdrawn from consideration and is no longer a candidate. This results in Mr. Benjamin Kroker now being designated as Active-Qualified for Seat #5.

On a separate matter, Supervisor Kagan mentioned that the Supervisor of Elections was including individuals outside of the District boundaries such as the Preserve (a neighboring community) to vote for District Supervisors when on the ballot. District management was asked to contact the Broward County Supervisor of Elections to provide them with a boundary map.

H. NEW/ADDITIONAL BUSINESS

1. Iguana Control Reports

Iguana Control Reports were presented in the meeting book and were reviewed by the Board.

Iguanas were removed from the following locations:

91	from the lakes and canals
<u>34</u>	from the Taft Street water features
125	<i>Total</i>

2. Consider Resolution No. 2024-07 – Adopting a Fiscal Year 2023/2024 Amended Budget

Mrs. Perez presented Resolution No. 2024-07, entitled:

RESOLUTION NO. 2024-07

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT AUTHORIZING AND ADOPTING AN AMENDED FINAL FISCAL YEAR 2023/2024 BUDGET (“AMENDED BUDGET”), PURSUANT TO CHAPTER 189, FLORIDA STATUTES; AND PROVIDING AN EFFECTIVE DATE.

Mrs. Perez explained, as done every year for administrative and statutory requirements, within 60 days of any given fiscal year end, the Board adopts a revised/amended budget for said year. The fiscal year ended on September 30, 2024. This is the reason it is administrative in nature (past year’s budget for past year’s expenses) and will serve as the Board’s final approval/ratification of the District’s expenditure(s) for the past fiscal year.

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Fateyev and unanimously passed adopting Resolution No. 2024-07, adopting a Fiscal Year 2023/2024 Amended Budget.

3. Update on Taft Street Visitor Gate Trap System Plans for Bid Process

Mrs. Perez advised the Board that the Visitor Gate Trap System plans had been finalized near the end of September and were currently out for bid. Therefore, proposals will be presented for Board consideration at the January 2025 meeting.

4. Update on Earth Advisors Landscaping and Irrigation Consulting Services

Mrs. Perez advised that the agreement had been finalized on September 25, 2024, and we are currently awaiting the Landscaping and Irrigation Consulting Report, anticipated to be completed this week. Mrs. Perez noted that upon receipt of the report she would circulate the same to all the Board Members, District Staff and the Association PM and President. She further added that it appeared that there were issues with the irrigation system.

5. Update on HOA Request for Installation of Benches on District Owned Land Near Lakes

Ms. Moisa advised the District that the HOA was not interested in taking on any additional expenses with regards to the Bench Installations that were originally requested. A discussion ensued.

A **MOTION** was made by Supervisor Beckmann, seconded by Supervisor Fateyev and unanimously passed permanently TABLING the installation of benches.

a. Consider CAS Engineering Proposal for Bench Installation Project Near Lakes

No action was taken on this matter, as the proposal is no longer needed.

6. Discussion Regarding Erosion & Sediment Control Plan for Canal

a. Consider Landshore Enterprises' Updated Proposal Part 1

Presented in the meeting book was the Landshore Enterprises proposal for the remobilization of the engineering team to survey and compare the current conditions with the "Erosion and Sedimentation Control Plan for Walnut Creek CDD Canal prepared by Landshore Enterprises, LLC, dated July 15, 2022" in the amount of \$1,500.00; thereby updating the survey to current conditions.

A **MOTION** was made by Supervisor Fateyev, seconded by Supervisor Levenson and passed unanimously approving the Landshore Enterprises' updated proposal in the amount of \$1,500 for the comparison of the current conditions with the "Erosion and Sedimentation Control Plan for Walnut Creek CDD Canal prepared by Landshore Enterprises, LLC and dated July 15, 2022;" directing District Counsel to prepare an agreement and/or amendment and simultaneously authorizing District management to execute on behalf of the District.

b. Consider Landshore Enterprises' Updated Proposal Part II (If Applicable)

This Landshore Enterprises proposal is to update the plans based on the changes pursuant to the updated survey and can be used for the bid process in the amount of \$1,000.00.

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Fateyev and passed unanimously approving the Landshore Enterprises' updated proposal in the amount of \$1,000 and further directing District Counsel to prepare an agreement and/or amendment and simultaneously authorizing District management to execute same on behalf of the District.

7. Consider Crystal Pools' Proposal for Repairs to Cracks of the Rocks of the Waterfall Features

The Crystal Pools Proposal #179238 dated 10/04/2024 for Repairs to Cracks of the Rocks of the Waterfall Features in amount of \$5,000.00.

Original Message-----

From: Crystal Pool Services <acrystal@bellsouth.net>

Sent: Monday, October 7, 2024 6:43 AM

To: Gloria Perez <gperez@sdsinc.org>

Cc: jeff kohler <acrystal@bellsouth.net>

Subject: Walnut Creek estimate to repair grout joints at rocks.

Gloria,

I have inspected all the rocks at the 3 waterfalls at Walnut Creek. I can confirm the one rock is cracked at the west waterfall, and at the large hole can be repaired by using cement blocks and apply cement to seal. The grout joints at the rocks needs attention / repair. The east waterfall and guardhouse waterfall is minor and has been repaired before, The west waterfall seems to need the most work. The rocks are not settling, But the previous cement that was used for the grout joints has worn away. The structure of all 3 waterfalls seems still intact, I find no defects in the visible structure.

The rocks are considered non structural and strictly cosmetics. Sealing these grout joints will help with weathering of the rocks from the inside. Refill of sand will help with portions of rock that do come in contact with the soil to carry the weight of these rocks.

There are 2 areas that need sand / fill and you will need a landscape contractor to set this fill. Both are at the west waterfall, first one is at the hole which is much smaller than I thought, should only need 1/2 cubic yard of sand. The second is at the landscaping just to the east side of the middle upper basin. The soil here has worn away at the base of rocks. This area may need 2 or 3 cubic yards of sand / fill.

As attachment is my price breakdown to apply a cement product to the grout joints and use either cement blocks or fiber mesh and the large hole and the long (6 foot) area. Both of these are needed at the west waterfall.

East Waterfall \$1,250.00
Guardhouse \$ 850.00
West Waterfall \$2,900.00
Total \$5,000.00

Please Advise

Regards
Jeff Kohler
Crystal Pool Services

Update: Pursuant to the FPL outages on Friday, October 11, 2024, it has been confirmed that several waterfall feature components have been damaged including one of the filter pumps and several lights. We are currently awaiting proposals for these items.

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Ross and passed unanimously approving Crystal Pools Proposal #179238 dated 10/04/2024 for Repairs to Cracks of the Rocks of the Waterfall Features in an amount of \$5,000, as presented.

8. Consider Proposal for Sand Replacement of the Waterfall Features

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Beckmann and passed unanimously approving the Felix Clean Services, a pool and pond service provider, for sand replacement of the waterfall features at a cost of \$4,700, to fill and secure openings that appear to have been washed out or tunneled by iguanas; and further directs District Counsel to prepare an agreement and simultaneously authorizing District management to execute same on behalf of the District.

9. Consider Ratification and Approval of New Fumigation Agreement with KJC Fumigation LLC

Mrs. Perez advised that the District's service provider, 1st Solutions Pest Control, had since closed the business and transferred the book of business with the same employees and cost to KJC Fumigation LLC. This is still pending finalization on behalf of KJC who has not provided the required COI's. Mrs. Perez further noted that if the Board agreed, she would allow one more week for finalization. Otherwise, she will proceed to request additional proposals if needed. The Board agreed with the recommended actions.

10. Consider Ratification and Approval of Randy's Holiday Lighting Assignment and Consent Agreement and Actions Taken on Behalf of District

Mrs. Perez advised regarding the Randy's Holiday Lighting Assignment & Consent Agreement as well as actions taken on behalf of the District. The District will request a new proposal as the current service being provided is the last, pursuant to the current agreement, and no changes in cost have been made. District management will gather proposals for Board consideration during the January 2025 meeting.

A **MOTION** was made by Supervisor Fateyev, seconded by Supervisor Levenson and unanimously passed ratifying and approving the Randy's Holiday Lighting Assignment & Consent Agreement as well as actions taken on behalf of the District.

11. Consider Ratification and Approval of Shekinah Est. 6746 for Fence Fabric Replacement

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Beckmann and passed unanimously ratifying and approving Shekinah Est. 6746 for fence fabric replacement at a cost of \$2,565, as presented, and for which the work has already been completed.

12. Consider Ratification and Approval of Tirone Proposal for Taft & Sheridan Streets Light Maintenance and Bulbs

A **MOTION** was made by Supervisor Fateyev, seconded by Supervisor Beckmann and passed unanimously ratifying and approving the Tirone proposal for Taft and Sheridan Streets light maintenance and bulbs at a cost of \$585, as presented, and for which the work has already been completed.

I. SECURITY SYSTEMS/SERVICES

1. Regions' Security Report

The Regions Security Report was presented in the meeting materials and Mr. Ruiz went over the report and noted that the Rover vehicle was now equipped with AI cameras that display footage of the vehicle surroundings and the driver of the vehicle

a. Update on Click2Enter Access Systems Upgrade

The Clock2Enter Access Systems upgrade is currently going through the permitting process.

b. Update on Sheridan Street Pedestrian Gate Keypad System Project

From: crivero@regionssecurity.com <crivero@regionssecurity.com>

Sent: Tuesday, October 15, 2024 11:10 AM

To: Gloria Perez <gperez@sdsinc.org>

Subject: Walnut Creek CDD - Sheridan Street Pedestrian Gate Keypad System

Hello Gloria,

Happy Tuesday! I hope this email finds you well.

The pedestrian gate keypad system project at Sheridan was completed last month. The keypad is now installed and programmed to operate with both a PIN and the community app, and it has been set to lock and unlock according to the provided schedule.

Currently, residents can request a PIN through property management, as they are able to generate one for each resident. Meanwhile, SOS is working on implementing a system that will automatically generate PIN codes, eliminating the need for property management to do so manually on a case-by-case basis.

Cordially,

Carlos Rivero, Jr. U.S. Army Veteran

President & CEO at Regions Security Services

c. Discussion Regarding Towing Companies Entering Unauthorized Via Sheridan Entrance/Exit

It has been determined that towing companies have been entering the District unauthorized by way of tampering with the entry and exit gates via Sheridan. A discussion ensued and no action was taken at this time.

d. Consider Regions' Proposal for Sheridan Tag Reader for Exit

The Region's proposal for Sheridan tag reader for exit consists of the following:

Exit Lanes - Vehicle Plate Camera Decoding - Total \$ 5,634.00 – This item was discussed and was not approved by the Board.

Remote Gate Control – Four Gate Motors - Total \$ 3,512.00 *For the Virtual Guard to open the gate.*

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Beckmann and passed unanimously approving the remote gate control and four gate motors for the Virtual Guard to open the gate at a cost of \$3,512, as presented, directing District Counsel to prepare a small project agreement and simultaneously authorizing District management to execute the same on behalf of the District.

PlateTrak System Monthly Service Cost (optional item):

Vehicle Plate Management – *Not for everyday use; more so for individual events and research.*

Decoding (Tag - Color - Make - Class)

Residential communities and commercial buildings can now improve surveillance services with new advanced technology that captures and decodes data in real-time for vehicles entering any facility, even at high speeds. The system will decode each license plate, vehicle class, make, and color. All captured data and images are automatically saved in the Cloud to allow for smart playback. The information is stored for 6 months and can be searched by vehicle tag number, class, make and color. Once the target vehicle is found, the images can be retrieved. Providing this information to the proper authorities can deliver results that are hard to attain otherwise without vehicle intelligent software. Regions does not guarantee that all license plates will be readable by the system, especially if they are blocked in some way, missing or damaged. Consumer acknowledges that license plates which are “unreadable” are due to no fault of the system. Consumer should have a back-up system in place for those occasions when a plate cannot be read accurately.

Option 1 \$ 164.00/ Month For One Camera

Option 2 \$ 144.00/ Month For Two Cameras

Option 3 \$ 124.00/ Month For Three or More Cameras

The above options were discussed and were TABLED for the time being.

2. Security Administrator Updates and Reports

a. Gate Maintenance/Service Report

The report was provided via handout by Messrs. Ruiz and Rubio.

b. Invoice Report

The report was provided via handout by Messrs. Ruiz and Rubio.

c. Incident Report

The Incident Report was provided via a handout by Mr. Ruiz who advised that claims were being made directly to the insurance companies for the damages to District security gates.

Mrs. Perez requested that all Regions Security reports be forwarded in PDF format for District records.

J. OLD BUSINESS

1. Update on Pressure Cleaning Project

It was noted that this project had been completed.

2. Update on Taft Street Pavilion Repairs and Painting Small Project

It was noted that this project had been completed.

K. ADDITIONAL STAFF UPDATES/REQUESTS

1. Attorney

Mr. George reminded the Board to complete their 4 hours of ethics training by December 31, 2024.

2. District Manager

The District Manager had nothing further.

L. ADDITIONAL BOARD MEMBER/PUBLIC COMMENTS

Several members of the public had comments pertaining to the wait time for guests and/or deliveries that occur at the Taft Street Visitor entrance and a discussion ensued amongst the Board Members, the members of the public and Regions Security Staff after which the Board requested that Regions provide more information as to the capabilities of the Decoding Cameras to be discussed further at a future meeting.

M. ADJOURNMENT

There being no further business to come before the Board a **MOTION** was made by Supervisor Fateyev, seconded by Supervisor Levenson and passed unanimously adjourning the meeting at 7:29 p.m.

ATTESTED BY:

Secretary /Assistant Secretary

Chairman/Vice-Chair

Walnut Creek
Community Development District

**Financial Report For
December 2024**

**WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT
MONTHLY FINANCIAL REPORT
OPERATING FUND
DECEMBER 2024**

	Annual Budget 10/1/24 - 9/30/25	Actual Dec-24	Year To Date Actual 10/1/24 - 12/31/24
REVENUES			
ADMINISTRATIVE ASSESSMENTS	191,895	146,478	170,709
MAINTENANCE ASSESSMENTS	1,268,723	968,867	1,129,144
DEBT ASSESSMENTS (2010)	129,869	99,231	115,646
OTHER REVENUE	0	1,000	2,000
INTEREST INCOME	1,800	0	0
TOTAL REVENUES	\$ 1,592,287	\$ 1,215,576	\$ 1,417,499
EXPENDITURES			
ADMINISTRATIVE EXPENDITURES			
SUPERVISOR FEES	10,000	0	1,000
PAYROLL TAXES (EMPLOYER)	800	0	77
ENGINEERING	40,000	0	3,980
LEGAL FEES	23,000	0	3,578
AUDIT FEES	4,200	0	0
MANAGEMENT	50,556	4,213	12,639
POSTAGE	1,450	5	305
OFFICE SUPPLIES/PRINTING	5,300	3	473
INSURANCE	24,000	0	21,894
LEGAL ADVERTISING	2,500	0	0
MISCELLANEOUS	8,750	225	2,783
DUES & SUBSCRIPTIONS	175	0	175
ASSESSMENT ROLL	7,500	0	0
TRUSTEE FEES	1,600	0	1,420
CONTINUING DISCLOSURE FEE	350	0	0
WEBSITE MANAGEMENT	2,000	167	500
TOTAL ADMINISTRATIVE EXPENDITURES	\$ 182,181	\$ 4,613	\$ 48,824
MAINTENANCE EXPENDITURES			
FIELD MANAGEMENT	5,000	0	2,500
OPERATIONS MANAGEMENT	12,000	3,000	3,000
SECURITY SERVICES	370,000	21,678	63,651
HOA SECURITY SERVICES ADMIN	35,100	1,100	3,300
SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SYSTEMS	35,000	3,340	10,019
SECURITY CAMERAS & MAINTENANCE	12,000	274	822
SECURITY ONLINE SOLUTIONS	12,000	0	2,180
TELEPHONE	12,500	600	3,430
ELECTRIC	85,000	8,041	23,656
WATER & SEWAGE	16,000	803	3,052
GUARD HOUSE - VISITOR PASSES	0	0	0
GATE SYSTEM MAINTENANCE	50,000	17,005	25,027
GUARD HOUSE INT/EXT MAINTENANCE	30,000	0	4,085
LAKE & PRESERVE MAINTENANCE	48,000	2,960	8,880
SIGNAGE	2,000	0	0
STREETLIGHT MAINTENANCE	5,000	0	0
WATERFALL MAINTENANCE	80,000	4,650	20,600
HOLIDAY LIGHTING	11,000	0	0
IGUANA REMOVAL SERVICES	27,000	2,242	6,725

**WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT
MONTHLY FINANCIAL REPORT
OPERATING FUND
DECEMBER 2024**

	Annual Budget 10/1/24 - 9/30/25	Actual Dec-24	Year To Date Actual 10/1/24 - 12/31/24
MISCELLANEOUS MAINTENANCE	10,000	59	4,973
STORMWATER MGT & PIPE REPLACEMENT RESERVE/CONTINGENCY	100,000	0	0
PRESSURE CLEANING & PAINTING OF EXTERIOR STRUCTURES	14,000	0	0
HEADWALL STABILIZATION PROJECT	50,000	0	0
LAKE SLOPE SOIL MAINTENANCE	10,000	0	0
S-8 CANAL RECONSTRUCTION - ENGINEERING DESIGN & CONSTRUCTION	240,000	0	0
OPERATING RESERVE/CONTINGENCY	24,000	0	0
TAFT STREET STRUCTURE MAINTENANCE	0	0	0
STORMWATER DRAINAGE PIPE CLEANING & CCTV PROJECT	0	0	0
MONUMENT MAINTENANCE	6,000	0	0
TOTAL MAINTENANCE EXPENDITURES	\$ 1,301,600	\$ 65,752	\$ 185,900
TOTAL EXPENDITURES	\$ 1,483,781	\$ 70,365	\$ 234,724
EXCESS OR (SHORTFALL)	\$ 108,506	\$ 1,145,211	\$ 1,182,775
PAYMENT TO TRUSTEE (2010)	(122,077)	(93,370)	(108,808)
BALANCE	\$ (13,571)	\$ 1,051,841	\$ 1,073,967
COUNTY APPRAISER & TAX COLLECTOR FEE	(31,810)	(23,323)	(27,179)
DISCOUNTS FOR EARLY PAYMENTS	(63,619)	(48,416)	(56,527)
EXCESS/ (SHORTFALL)	\$ (109,000)	\$ 980,102	\$ 990,261
CARRYOVER FROM PRIOR YEAR	109,000	0	0
NET EXCESS/ (SHORTFALL)	\$ -	\$ 980,102	\$ 990,261

Notes

Reserves Set-Up For Un-Used Budgeted Fiscal Year 20/21, 21/22, 22/23 & 23/24 Maintenance Projects.

Improvement/Emergency Funds May Be Needed To Fund A Portion Of The Projects.

Reserve Balances Total \$1,225,000 (\$825,000 as of 9-30-23 -plus 9/30/24 additions - \$400,000).

Reserve Additions: S-8 Canal: \$240,000 - Stormwater/Pipe: \$100,000 - Headwall: \$50,000 - Lake Slop - \$10,000 - Total: \$400,000.

Bank Balance As Of 12/31/24	\$ 2,919,021.08
Accounts Payable As Of 12/31/24	\$ 203,875.84
Accounts Receivable As Of 12/31/24	\$ 11,720.00
Reserve For Headwall Stabilization As Of 12/31/24	\$ 150,000.00
Reserve For Lake Slope Soil Maintenance As Of 12/31/24	\$ 40,000.00
Reserve For Stormwater Maint/Pipe Replacement As Of 12/31/24	\$ 255,000.00
Reserve For S-8 Canal Reconstruction As Of 12/31/24	\$ 780,000.00
Operating Account Available Funds As Of 12/31/24	\$ 1,501,865.24
Improvements/Emergency Funds As Of 12/31/24	\$ 1,105,050.33
Total Available Funds As Of 12/31/24	\$ 2,606,915.57

Walnut Creek Community Development District
Budget vs. Actual
October through December 2024

	Oct - Dec 24	24/25 Budget	\$ Over Budget	% of Budget
Income				
01-3100 · Administrative Assessment	170,708.97	191,895.00	-21,186.03	88.96%
01-3200 · Maintenance Assessment	1,129,143.65	1,268,723.00	-139,579.35	89.0%
01-3811 · Debt Assessments (Series 2010)	115,646.40	129,869.00	-14,222.60	89.05%
01-3821 · Debt Assess-Paid To Trustee-10	-108,807.70	-122,077.00	13,269.30	89.13%
01-3830 · Assessment Fees	-27,179.43	-31,810.00	4,630.57	85.44%
01-3831 · Assessment Discounts	-56,527.08	-63,619.00	7,091.92	88.85%
01-9400 · Miscellaneous Revenue	2,000.00	0.00	2,000.00	100.0%
01-9410 · Interest Income	0.00	1,800.00	-1,800.00	0.0%
01-9411 · Carryover From Prior Year	0.00	109,000.00	-109,000.00	0.0%
Total Income	1,224,984.81	1,483,781.00	-258,796.19	82.56%
Expense				
01-1307 · Payroll tax expense	76.50	800.00	-723.50	9.56%
01-1308 · Supervisor Fees	1,000.00	10,000.00	-9,000.00	10.0%
01-1310 · Engineering	3,980.00	40,000.00	-36,020.00	9.95%
01-1311 · Management Fees	12,639.00	50,556.00	-37,917.00	25.0%
01-1315 · Legal Fees	3,577.50	23,000.00	-19,422.50	15.55%
01-1318 · Assessment/Tax Roll	0.00	7,500.00	-7,500.00	0.0%
01-1320 · Audit Fees	0.00	4,200.00	-4,200.00	0.0%
01-1450 · Insurance	21,894.00	24,000.00	-2,106.00	91.23%
01-1480 · Legal Advertisements	0.00	2,500.00	-2,500.00	0.0%
01-1512 · Miscellaneous	2,783.35	8,750.00	-5,966.65	31.81%
01-1513 · Postage and Delivery	305.25	1,450.00	-1,144.75	21.05%
01-1514 · Office Supplies	472.68	5,300.00	-4,827.32	8.92%
01-1540 · Dues, License & Subscriptions	175.00	175.00	0.00	100.0%
01-1550 · Trustee Fees (GF)	1,420.00	1,600.00	-180.00	88.75%
01-1551 · Continuing Disclosure Fee	0.00	350.00	-350.00	0.0%
01-1570 · Website Management	499.98	2,000.00	-1,500.02	25.0%
01-1601 · Security Services & Rover	63,650.90	370,000.00	-306,349.10	17.2%
01-1604 · Guardhouse Int/Ext Maintenance	4,084.73	30,000.00	-25,915.27	13.62%
01-1605 · Gate System Maintenance	25,027.00	50,000.00	-24,973.00	50.05%
01-1609 · Security Cameras & Maintenance	822.00	12,000.00	-11,178.00	6.85%
01-1610 · Security Online Solutions	2,180.00	12,000.00	-9,820.00	18.17%
01-1803 · Lake & Preserve Maintenance	8,880.00	48,000.00	-39,120.00	18.5%
01-1805 · Stormwater Mgt/Pipe Replacement	0.00	100,000.00	-100,000.00	0.0%
01-1812 · Signs	0.00	2,000.00	-2,000.00	0.0%
01-1814 · Electricity	23,656.08	85,000.00	-61,343.92	27.83%
01-1815 · Miscellaneous Maintenance	4,974.38	10,000.00	-5,025.62	49.74%
01-1816 · Telephone	3,429.85	12,500.00	-9,070.15	27.44%
01-1817 · Water & sewer	3,051.68	16,000.00	-12,948.32	19.07%
01-1818 · Field Management	2,500.00	5,000.00	-2,500.00	50.0%
01-1821 · Waterfall Maintenance	20,600.00	80,000.00	-59,400.00	25.75%
01-1824 · Streetlight Maintenance	0.00	5,000.00	-5,000.00	0.0%
01-1826 · Holiday Lighting	0.00	11,000.00	-11,000.00	0.0%
01-1829 · Monument Maintenance	0.00	6,000.00	-6,000.00	0.0%

Walnut Creek Community Development District
Budget vs. Actual
October through December 2024

	Oct - Dec 24	24/25 Budget	\$ Over Budget	% of Budget
01-1835 · Pressure Clean & Paint Ext Strc	0.00	14,000.00	-14,000.00	0.0%
01-1839 · Iguana Removal Services	6,725.01	27,000.00	-20,274.99	24.91%
01-1840 · Headwall Stabilization Project	0.00	50,000.00	-50,000.00	0.0%
01-1841 · Lake Slope Soil Maintenance	0.00	10,000.00	-10,000.00	0.0%
01-1842 · S-8 Canal Reconstructn-Eng Dsgn	0.00	240,000.00	-240,000.00	0.0%
01-1844 · Security Services Admin	3,300.00	35,100.00	-31,800.00	9.4%
01-1845 · Security Video Surv. & Virtual	10,019.34	35,000.00	-24,980.66	28.63%
01-1899 · Operating Maint Resrve/Contngcy	0.00	24,000.00	-24,000.00	0.0%
01-2311 · Operations Management	3,000.00	12,000.00	-9,000.00	25.0%
Total Expense	234,724.23	1,483,781.00	-1,249,056.77	15.82%
Net Income	990,260.58	0.00	990,260.58	100.0%

Walnut Creek Community Development District
Check Register
October 2024 - December 2024

Reference #	Date	Vendor	Amount
10-1	10/1/2024	Comcast (Voice 8931)	179.90
10-2	10/2/2024	Allstate Resource Management, Inc.	1,465.00
10-3	10/2/2024	Billing, Cochran, Lyles, Mauro & Ramsey	3,145.00
10-4	10/2/2024	Blue Iguana Pest Control Inc	2,241.67
10-5	10/2/2024	Comcast (8939)	848.53
10-6	10/2/2024	Comcast (9044)	428.99
10-7	10/2/2024	Craig A Smith & Associates LLC	8,856.00
10-8	10/2/2024	Crystal Pool Service Inc	4,650.00
10-9	10/2/2024	Cutters Edge Cutters Edge Lawn and Mainte	3,390.00
10-10	10/2/2024	Egis Insurance and & Risk Advisors	21,894.00
10-11	10/2/2024	FPL	8,265.03
10-12	10/2/2024	Pressure Cleaning Man Inc.	4,635.00
10-13	10/2/2024	Regions Security	4,499.00
10-14	10/2/2024	Shekinah Fence Services LLC	2,565.00
10-15	10/2/2024	Special District Services	13,735.01
10-16	10/2/2024	Tirone Electric	440.00
10-17	10/4/2024	Allstate Resource Management, Inc.	2,960.00
10-18	10/4/2024	City of Pembroke Pine (536647-248299)	185.36
10-19	10/4/2024	City of Pembroke Pines (536645-248297)	47.87
10-20	10/4/2024	City of Pembroke Pines (536646-248298)	202.54
10-21	10/4/2024	Crystal Springs	166.38
10-22	10/4/2024	Elite Property Service & Painting Corp	4,200.00
10-23	10/4/2024	Regions Security	23,449.24
10-24	10/11/2024	Traffic Cones for Less	643.50

Walnut Creek Community Development District
Check Register
October 2024 - December 2024

Reference #	Date	Vendor	Amount
11-1	11/1/2024	Comcast (Voice 8931)	180.18
11-2	11/1/2024	SunSentinel	165.44
11-3	11/4/2024	Allstate Resource Management, Inc.	2,960.00
11-4	11/4/2024	Amazon Capital Services	209.93
11-5	11/4/2024	Blue Iguana Pest Control Inc	2,241.67
11-6	11/4/2024	City of Pembroke Pine (536647-248299)	339.08
11-7	11/4/2024	City of Pembroke Pines (536645-248297)	131.59
11-8	11/4/2024	City of Pembroke Pines (536646-248298)	259.48
11-9	11/4/2024	Comcast (8939)	823.27
11-10	11/4/2024	Comcast (9044)	823.27
11-11	11/4/2024	Craig A Smith & Associates LLC	2,405.00
11-12	11/4/2024	Crystal Pool Service Inc	4,650.00
11-13	11/4/2024	Elite Property Service & Painting Corp	850.00
11-14	11/4/2024	Florida Commerce	175.00
11-15	11/4/2024	FPL	7,907.16
11-16	11/4/2024	KJC FUMIGATION LLC	140.00
11-17	11/4/2024	Regions Security	27,556.26
11-18	11/4/2024	Richie Rich Services LLC	284.00
11-19	11/4/2024	Special District Services	5,904.53
11-20	11/4/2024	Tirone Electric	360.00
11-21	11/4/2024	Walnut Creek Community Association, Inc.	2,500.00
11-22	11/19/2024	Billing, Cochran, Lyles, Mauro & Ramsey	6,170.00
11-23	11/19/2024	Craig A Smith & Associates LLC	3,135.00
11-24	11/19/2024	Crystal Pool Service Inc	4,650.00
11-25	11/19/2024	KJC FUMIGATION LLC	140.00
11-26	11/19/2024	Landshore Enterprises LLC	750.00
11-27	11/19/2024	Regions Security	5,139.78
12-1	12/5/2024	Blue Iguana Pest Control Inc	2,241.67
12-2	12/5/2024	Broward County Property Appraiser	1,790.00
12-3	12/5/2024	City of Pembroke Pine (536647-248299)	1,019.14
12-4	12/5/2024	City of Pembroke Pines (536645-248297)	50.42
12-5	12/5/2024	City of Pembroke Pines (536646-248298)	448.80
12-6	12/5/2024	Comcast (8939)	394.02
12-7	12/5/2024	Comcast (9044)	429.28
12-8	12/5/2024	Comcast (Voice 8931)	180.18
12-9	12/5/2024	Crystal Pool Service Inc	1,950.00
12-10	12/5/2024	Crystal Springs	69.93
12-11	12/5/2024	Earth Advisors Inc	4,095.00
12-12	12/5/2024	Felix Cleaning Service LLC	4,700.00
12-13	12/5/2024	FPL	7,707.65
12-14	12/5/2024	Regions Security	28,855.98
12-15	12/5/2024	Shekinah Fence Services LLC	1,756.00
12-16	12/5/2024	Special District Services	6,180.05
		TOTAL	255,811.78

**Walnut Creek Community Development District
Expenditures
October through December 2024**

	Date	Num	Name	Memo	Amount
Expenditures					
01-1307 · Payroll tax expense					
	10/18/2024	PR 10/15/24		mtg 10/15/24 PR 10/21/24 (Levenson, Ross, Beckman, Kagan, Fateyev)	76.50
Total 01-1307 · Payroll tax expense					<u>76.50</u>
01-1308 · Supervisor Fees					
	10/18/2024	PR 10/15/24		mtg 10/15/24 PR 10/21/24 (Levenson, Ross, Beckman, Kagan, Fateyev)	1,000.00
Total 01-1308 · Supervisor Fees					<u>1,000.00</u>
01-1310 · Engineering					
	10/31/2024	CASA-INV-002417	Craig A Smith & Associates LLC	professional services thru 10/31/2024	3,135.00
	11/30/2024	CASA-INV-002487	Craig A Smith & Associates LLC	professional services thru 11/30/2024	845.00
Total 01-1310 · Engineering					<u>3,980.00</u>
01-1311 · Management Fees					
	10/31/2024	2024-1455	Special District Services	Management fee - October 2024	4,213.00
	11/30/2024	2024-1588	Special District Services	Management fee - November 2024	4,213.00
	12/31/2024	2024-1817	Special District Services	Management fee - December 2024	4,213.00
Total 01-1311 · Management Fees					<u>12,639.00</u>
01-1315 · Legal Fees					
	10/31/2024	190280	Billing, Cochran, Lyles, Mauro & Ramsey	legal fees thru 10/31/2024	3,077.50
	11/30/2024	190789	Billing, Cochran, Lyles, Mauro & Ramsey	legal fees thru 11/30/2024	500.00
Total 01-1315 · Legal Fees					<u>3,577.50</u>
01-1450 · Insurance					
	10/01/2024	25436	Egis Insurance and & Risk Advisors	policy #100124507 10/1/24 - 10/1/25	21,894.00
Total 01-1450 · Insurance					<u>21,894.00</u>
01-1512 · Miscellaneous					
	10/18/2024	PR 10/15/24		mtg 10/15/24 PR 10/21/24 (Levenson, Ross, Beckman, Kagan, Fateyev)	53.75
	10/31/2024	2024-1455	Special District Services	document storage	89.68
	10/31/2024	2024-1455	Special District Services	travel	225.76
	11/18/2024	11/18/24	Broward County Property Appraiser	annual property appraiser fee 24/25	1,790.00
	11/30/2024	2024-1588	Special District Services	document storage	89.68
	11/30/2024	2024-1588	Special District Services	travel	309.12
	12/31/2024	2024-1817	Special District Services	document storage	89.68
	12/31/2024	2024-1817	Special District Services	travel	135.68
Total 01-1512 · Miscellaneous					<u>2,783.35</u>
01-1513 · Postage and Delivery					
	10/31/2024	2024-1455	Special District Services	FedEx	118.17
	11/30/2024	2024-1588	Special District Services	FedEx	171.69
	11/30/2024	2024-1588	Special District Services	postage	10.33
	12/31/2024	2024-1817	Special District Services	FedEx	5.06
Total 01-1513 · Postage and Delivery					<u>305.25</u>

**Walnut Creek Community Development District
Expenditures
October through December 2024**

	Date	Num	Name	Memo	Amount
01-1514 · Office Supplies					
	10/18/2024	13GX-HG7W-X61W	Amazon Capital Services	Olympus digital recorder and carrying case	161.97
	10/19/2024	1MKN-TMPG-19HR	Amazon Capital Services	padlocks	47.96
	10/31/2024	2024-1455	Special District Services	copier charges	43.20
	11/30/2024	2024-1588	Special District Services	copier charges	188.40
	11/30/2024	2024-1588	Special District Services	meeting books	28.00
	12/31/2024	2024-1817	Special District Services	copier charges	3.15
Total 01-1514 · Office Supplies					<u>472.68</u>
01-1540 · Dues, License & Subscriptions					
	10/01/2024	90567	Florida Commerce	special district fee FY 24/25	175.00
Total 01-1540 · Dues, License & Subscriptions					<u>175.00</u>
01-1550 · Trustee Fees (GF)					
	11/18/2024	42727	Hancock Bank (Trustee Fee)	trustee fee 01/01/2025 - 12/31/2025	1,420.00
Total 01-1550 · Trustee Fees (GF)					<u>1,420.00</u>
01-1570 · Website Management					
	10/31/2024	2024-1455	Special District Services	website fee	166.66
	11/30/2024	2024-1588	Special District Services	website fee	166.66
	12/31/2024	2024-1817	Special District Services	website fee	166.66
Total 01-1570 · Website Management					<u>499.98</u>
01-1601 · Security Services & Rover					
	10/31/2024	33064	Regions Security	security and rover services October 2024	20,994.98
	11/30/2024	33351	Regions Security	Security and Rover services November 2024	20,978.24
	12/15/2024	33570	Regions Security	SECURITY & ROVER SERVICES - December 2024	21,677.68
Total 01-1601 · Security Services & Rover					<u>63,650.90</u>
01-1604 · Guardhouse Int/Ext Maintenance					
	10/03/2024	1080048	Traffic Cones for Less	traffic delineators	643.50
	10/16/2024	1939	Elite Property Service & Painting Corp	remove bracket, patch holes, paint	850.00
	10/16/2024	58581	Tirone Electric	troubleshoot lights by Taft St entrance pavilion	360.00
	10/18/2024	25068	Richie Rich Services LLC	AC service at guardhouse	284.00
	10/31/2024	2024-1455	Special District Services	guardhouse light bulbs	48.06
	11/07/2024	156225	KJC FUMIGATION LLC	bi monthly pest control	140.00
	11/13/2024	4402	Shekinah Fence Services LLC	REPAIR FENCE SECTIONS BROKEN ALONG NW 72 AVE	1,756.00
	11/30/2024	2024-1588	Special District Services	fence gate chain	3.17
Total 01-1604 · Guardhouse Int/Ext Maintenance					<u>4,084.73</u>

**Walnut Creek Community Development District
Expenditures
October through December 2024**

Date	Num	Name	Memo	Amount
01-1605 · Gate System Maintenance				
10/01/2024	32688	Regions Security	Oct 2024 gate maintenance contract	825.00
10/29/2024	32997	Regions Security	Taft Street Resident Lane Sign 24" x 18" Reflective Aluminum	250.00
11/01/2024	33025	Regions Security	SECURITY GATE SYSTEM MAINTENANCE & REPAIRS nOV 24	825.00
11/06/2024	33091	Regions Security	Taft resident 2nd arm remount 10/22 7:10 pm	225.00
11/06/2024	33089	Regions Security	hurricane arm swing gates removal and remount	600.00
11/06/2024	33090	Regions Security	Sheridan left exit arm remount 10/16 1:15 pm	300.00
11/07/2024	33095	Regions Security	SECURITY GATE SYSTEM MAINTENANCE & REPAIRS	810.00
11/11/2024	33173	Regions Security	Sheridan entrance repair 10/18/24	300.00
11/11/2024	33170	Regions Security	Sheridan left exit arm barrier remount 11/9/24 12:05 pm	225.00
11/15/2024	33201	Regions Security	Sheridan left exit are remount 10/15 4:35 pm	150.00
11/15/2024	33202	Regions Security	virtual guard remote gate control - 4 gate motors	3,512.00
12/01/2024	33321	Regions Security	SECURITY GATE SYSTEM MAINTENANCE & REPAIRS - December 2024	825.00
12/01/2024	33322	Regions Security	SECURITY ONLINE SOLUTIONS - December 2024	1,090.00
12/04/2024	33442	Regions Security	1 CLICK2ENTER SYSTEM PROJECT ON TAFT AND SHERIDAN	12,675.00
12/09/2024	33457	Regions Security	Sheridan entrance gate loop replacement	1,890.00
12/10/2024	33458	Regions Security	Installation of new LED kit for Taft resident 2nd arm	525.00
Total 01-1605 · Gate System Maintenance				25,027.00
01-1609 · Security Cameras & Maintenance				
10/01/2024	32823	Regions Security	video maintenance services	274.00
11/01/2024	33027	Regions Security	SECURITY CAMERAS & MAINTENANCE	274.00
12/01/2024	33323	Regions Security	SECURITY CAMERAS & MAINTENANCE - December 2024	274.00
Total 01-1609 · Security Cameras & Maintenance				822.00
01-1610 · Security Online Solutions				
10/01/2024	32796	Regions Security	Oct 2024 SOS app subscription	1,090.00
11/01/2024	33026	Regions Security	SECURITY ONLINE SOLUTIONS November 24	1,090.00
Total 01-1610 · Security Online Solutions				2,180.00
01-1803 · Lake & Preserve Maintenance				
10/01/2024	12027	Allstate Resource Management, Inc.	mitigation area maintenance and lake management	2,960.00
11/01/2024	12819	Allstate Resource Management, Inc.	mitigation area maintenance and lake management	2,960.00
12/01/2024	13578	Allstate Resource Management, Inc.	mitigation area maintenance and lake management	2,960.00
Total 01-1803 · Lake & Preserve Maintenance				8,880.00

**Walnut Creek Community Development District
Expenditures
October through December 2024**

Date	Num	Name	Memo	Amount
01-1814 · Electricity				
10/18/2024	54061-43023 1024	FPL	acct# 54061-43023 (09/18/24 - 10/18/24)	100.93
10/18/2024	63714-09001 1024	FPL	acct# 63714-09001 (09/18/24 - 10/18/24)	31.63
10/18/2024	63522-34022 1024	FPL	acct# 63522-34022 (09/18/24 - 10/18/24)	329.82
10/18/2024	04574-72025 1024	FPL	acct# 04574-72025 (09/18/24 - 10/18/24)	443.35
10/18/2024	91603-83023 1024	FPL	acct# 91603-83023 (09/18/24 - 10/18/24)	1,029.03
10/18/2024	36358-71365 1024	FPL	acct# 36358-71365 (09/18/24 - 10/18/24)	5,972.40
11/18/2024	54061-43023 1124	FPL	acct# 54061-43023 (10/18/24 - 11/18/24)	91.94
11/18/2024	04574-72025 1124	FPL	acct# 04574-72025 (10/18/24 - 11/18/24)	421.20
11/18/2024	63714-09001 1124	FPL	acct# 63714-09001 (10/18/24 - 11/18/24)	32.10
11/18/2024	91603-83023 1124	FPL	acct# 91603-83023 (10/18/24 - 11/18/24)	1,113.91
11/18/2024	36358-71365 1124	FPL	acct# 36358-71365 (10/18/24 - 11/18/24)	5,972.40
11/18/2024	63522-34022 1124	FPL	acct# 63522-34022 (10/18/24 - 11/18/24)	76.10
12/18/2024	36358-71365 1224	FPL	acct# 36358-71365 (11/18/24 - 12/18/24)	5,972.40
12/18/2024	54061-43023 1124	FPL	acct# 54061-43023 (11/18/24 - 12/18/24)	75.86
12/18/2024	91603-83023 1224	FPL	acct# 91603-83023 (11/18/24 - 12/18/24)	1,114.11
12/18/2024	04574-72025 1224	FPL	acct# 04574-72025 (11/18/24 - 12/18/24)	369.22
12/18/2024	63522-34022 1224	FPL	acct# 63522-34022 (11/18/24 - 12/18/24)	475.35
12/18/2024	63714-09001 1224	FPL	acct# 63714-09001 (11/18/24 - 12/18/24)	34.33
Total 01-1814 · Electricity				23,656.08
01-1815 · Miscellaneous Maintenance				
10/17/2024	101724-01	Earth Advisors Inc	completion of landscape audit and report	4,095.00
11/12/2024	2122	Landshore Enterprises LLC	initial deposit (50%) for re-evaluation of current conditions	750.00
11/20/2024	21393886 112024	Crystal Springs	water for guardhouse	69.93
12/18/2024	21393886 121824	Crystal Springs	water for guardhouse	59.45
Total 01-1815 · Miscellaneous Maintenance				4,974.38
01-1816 · Telephone				
10/11/2024	8495 75 100 0519044	Comcast (9044)	acct# 8495751000519044 (10/15/24 - 11/14/24)	823.27
10/11/2024	8495 75 100 0518939	Comcast (8939)	acct# 8495751000518939 (10/15/24 - 11/14/24)	823.27
10/15/2024	220522511	Comcast (Voice 8931)	acct# 904688931 inv# 220522511	180.18
11/11/2024	8495 75 100 0518939	Comcast (8939)	acct# 8495751000518939 (11/15/24 - 12/14/24)	394.02
11/11/2024	8495 75 100 0519044	Comcast (9044)	acct# 8495751000519044 (11/15/24 - 12/14/24)	429.28
11/15/2024	223093833	Comcast (Voice 8931)	acct# 904688931 inv# 223093833	180.18
12/11/2024	8495 75 100 0519044	Comcast (9044)	acct# 8495751000518939 (12/15/24 - 01/14/25)	419.47
12/15/2024	227241889	Comcast (Voice 8931)	acct# 904688931 inv# 227241889	180.18
Total 01-1816 · Telephone				3,429.85

**Walnut Creek Community Development District
Expenditures
October through December 2024**

Date	Num	Name	Memo	Amount
01-1817 · Water & sewer				
10/21/2024	536645 248297	City of Pembroke Pines (536645-248297)	1800 NW 76 AVE (09/16/24 - 10/17/24)	131.59
10/21/2024	536646 248298	City of Pembroke Pines (536646-248298)	1800 NW 76 Ave W (09/16/24 - 10/17/24)	259.48
10/21/2024	536647-248299	City of Pembroke Pine (536647-248299)	1800 NW 76 Ave E (09/16/24 - 10/17/24)	339.08
11/20/2024	536645 - 248297	City of Pembroke Pines (536645-248297)	1800 NW 76 AVE (10/17/24 - 11/19/24)	50.42
11/20/2024	536646 248298	City of Pembroke Pines (536646-248298)	1800 NW 76 Ave W (10/17/24 - 11/19/24)	448.80
11/20/2024	536647-248299	City of Pembroke Pine (536647-248299)	1800 NW 76 Ave E (10/17/24 - 11/19/24)	1,019.14
12/19/2024	536646-248298	City of Pembroke Pines (536646-248298)	1800 NW 76 Ave W (11/19/24 - 12/17/24)	267.74
12/19/2024	536647-248299	City of Pembroke Pine (536647-248299)	1800 NW 76 Ave E (11/19/24 - 12/17/24)	485.01
12/19/2024	536645 248297	City of Pembroke Pines (536645-248297)	1800 NW 76 AVE (11/19/24 - 12/17/24)	50.42
Total 01-1817 · Water & sewer				3,051.68
01-1818 · Field Management & Operations Mgt				
10/15/2024	2024/2025	Walnut Creek Community Association, Inc.	1st payment for agreement b/t District and association FY 2024/2025	2,500.00
10/31/2024	2024-1455	Special District Services	field operations management	1,000.00
11/30/2024	2024-1588	Special District Services	field operations management	1,000.00
12/31/2024	2024-1817	Special District Services	field operations management	1,000.00
Total 01-1818 · Field Management				5,500.00
01-1821 · Waterfall Maintenance				
10/01/2024	2415181000	Crystal Pool Service Inc	October service	4,650.00
11/01/2024	2415181100	Crystal Pool Service Inc	November service	4,650.00
11/21/2024	2024-walnut-1	Felix Cleaning Service LLC	Filling and compacting areas under and between waterfall rocks (as per agreement).	4,700.00
11/21/2024	2415191200	Crystal Pool Service Inc	November repairs	1,950.00
12/01/2024	2415181200	Crystal Pool Service Inc	December service	4,650.00
Total 01-1821 · Waterfall Maintenance				20,600.00
01-1839 · Iguana Removal Services				
10/01/2024	162997	Blue Iguana Pest Control Inc	monitoring October 2024	241.67
10/01/2024	162999	Blue Iguana Pest Control Inc	monitoring October 2024	2,000.00
11/01/2024	170558	Blue Iguana Pest Control Inc	monitoring November 2024	241.67
11/01/2024	170563	Blue Iguana Pest Control Inc	monitoring November 2024	2,000.00
12/01/2024	177406	Blue Iguana Pest Control Inc	monitoring December 2024	241.67
12/01/2024	177404	Blue Iguana Pest Control Inc	monitoring December 2024	2,000.00
Total 01-1839 · Iguana Removal Services				6,725.01
01-1844 · Security Services Admin				
10/01/2024	32689	Regions Security	Oct 2024 security administration	1,100.00
11/01/2024	33029	Regions Security	SECURITY ADMINISTRATIVE SERVICES November 24	1,100.00
12/01/2024	33325	Regions Security	SECURITY ADMINISTRATIVE SERVICES - December 2024	1,100.00
Total 01-1844 · Security Services Admin				3,300.00
01-1845 · Security Video Surv. & Virtual				
10/01/2024	32690	Regions Security	SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES	3,339.78
11/01/2024	33028	Regions Security	SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24	3,339.78
12/01/2024	33324	Regions Security	SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024	3,339.78
Total 01-1845 · Security Video Surv. & Virtual				10,019.34
Total Expenditures				234,724.23

**Walnut Creek Community Development District
Balance Sheet
As of December 31, 2024**

	<u>Operating Fund</u>	<u>Debt Service (2010) Fund</u>	<u>General Fixed Assets</u>	<u>Long Term Debt</u>	<u>TOTAL</u>
ASSETS					
Current Assets					
Checking/Savings					
Operating Fund	2,919,021.08	0.00	0.00	0.00	2,919,021.08
Improvements/Emergency Funds	1,105,050.33	0.00	0.00	0.00	1,105,050.33
Total Checking/Savings	<u>4,024,071.41</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>4,024,071.41</u>
Total Current Assets	4,024,071.41	0.00	0.00	0.00	4,024,071.41
Other Assets					
Investments - Interest Account	0.00	3.38	0.00	0.00	3.38
Investments - Reserve Fund	0.00	124,697.89	0.00	0.00	124,697.89
Investments - Revenue Account	0.00	124,511.68	0.00	0.00	124,511.68
Investments - Prepayment Fund	0.00	0.00	0.00	0.00	0.00
Investments - Redemption Account	0.00	659.32	0.00	0.00	659.32
Investments - Principal	0.00	7.75	0.00	0.00	7.75
Accounts Receivable	11,720.00	0.00	0.00	0.00	11,720.00
A/R Non Ad Valorem Receipts	0.00	108,808.00	0.00	0.00	108,808.00
Land & Land Improvements	0.00	0.00	6,327,392.00	0.00	6,327,392.00
2010 Project Improvements	0.00	0.00	1,746,100.00	0.00	1,746,100.00
2014 Improvements	0.00	0.00	66,674.00	0.00	66,674.00
Infrastructure	0.00	0.00	3,123,376.00	0.00	3,123,376.00
Equipment	0.00	0.00	30,534.00	0.00	30,534.00
Depreciation - Infrastructure	0.00	0.00	-3,079,677.00	0.00	-3,079,677.00
Depreciation - Equipment	0.00	0.00	-30,534.00	0.00	-30,534.00
Amount Available In DSF (2010)	0.00	0.00	0.00	358,688.02	358,688.02
Amount To Be Provided	0.00	0.00	0.00	566,311.98	566,311.98
Total Other Assets	<u>11,720.00</u>	<u>358,688.02</u>	<u>8,183,865.00</u>	<u>925,000.00</u>	<u>9,479,273.02</u>
TOTAL ASSETS	<u>4,035,791.41</u>	<u>358,688.02</u>	<u>8,183,865.00</u>	<u>925,000.00</u>	<u>13,503,344.43</u>
LIABILITIES & EQUITY					
Liabilities					
Current Liabilities					
Accrued Expense Sundry	0.00	0.00	0.00	0.00	0.00
Maintenance Projects Reserves	1,225,000.00	0.00	0.00	0.00	1,225,000.00
Accounts Payable	203,875.84	0.00	0.00	0.00	203,875.84
Total Current Liabilities	<u>1,428,875.84</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,428,875.84</u>
Long Term Liabilities					
Special Assessment Debt (2008)	0.00	0.00	0.00	0.00	0.00
Special Assessment Debt (2010)	0.00	0.00	0.00	925,000.00	925,000.00
Total Long Term Liabilities	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>925,000.00</u>	<u>925,000.00</u>
Total Liabilities	1,428,875.84	0.00	0.00	925,000.00	2,353,875.84
Equity					
Retained Earnings	1,616,654.99	283,794.59	-3,110,211.00	0.00	-1,209,761.42
Net Income	990,260.58	74,893.43	0.00	0.00	1,065,154.01
Current Year Depreciation	0.00	0.00	0.00	0.00	0.00
Investment In Gen Fixed Assets	0.00	0.00	11,294,076.00	0.00	11,294,076.00
Total Equity	<u>2,606,915.57</u>	<u>358,688.02</u>	<u>8,183,865.00</u>	<u>0.00</u>	<u>11,149,468.59</u>
TOTAL LIABILITIES & EQUITY	<u>4,035,791.41</u>	<u>358,688.02</u>	<u>8,183,865.00</u>	<u>925,000.00</u>	<u>13,503,344.43</u>

**Walnut Creek CDD
Debt Service (Series 2010) Profit & Loss Report December 2024**

	Annual Budget 10/1/24 - 9/30/25	Actual Dec-24	Year To Date Actual 10/1/24 - 12/31/24
Revenues			
Interest Income	100	1,050	3,261
NAV Tax Collection	122,077	0	108,808
Bond Prepayments	0	0	0
Total Revenues	\$ 122,177	\$ 1,050	\$ 112,069
Expenditures			
Principal Payments	55,000	0	0
Additional Principal Payments	11,083	0	10,000
Interest Payments	56,094	0	27,176
Total Expenditures	\$ 122,177	\$ -	\$ 37,176
Excess/ (Shortfall)	\$ -	\$ 1,050	\$ 74,893

**WALNUT CREEK CDD
TAX COLLECTIONS
2024 - 2025**

#	ID#	Payment From	DATE	FOR	Tax Collect Receipts Gross	Interest Received	Commission Paid	Discount	Net From Tax Collector	Admin Assessment Income (Before Discounts & Fees)	Maintenance Assessment Income (Before Discounts & Fees)	Series 2010 Debt Assessment Income (Before Discounts & Fees)	Admin Assessment Income (After Discounts & Fees)	Maintenance Assessment Income (After Discounts & Fees)	Series 2010 Debt Assessment Income (After Discounts & Fees)	Series 2010 Debt Assessment Paid to Trustee
									\$1,590,491	\$191,897	\$1,268,725	\$129,869	\$191,897	\$1,268,725	\$129,869	
									\$1,495,062	\$180,383	\$1,192,602	\$122,077	\$180,383	\$1,192,602	\$122,077	\$122,077
1	1	Broward Cty Tax Collector	11/22/24	NAV Taxes	\$ 200,923.57		\$ (3,856.24)	\$ (8,111.22)	\$ 188,956.11	\$ 24,231.32	\$ 160,276.75	\$ 16,415.50	\$ 22,787.96	\$ 150,730.35	\$ 15,437.80	\$ 15,437.80
2	2	Broward Cty Tax Collector	12/06/24	NAV Taxes	\$ 228,911.34		\$ (4,395.10)	\$ (9,156.74)	\$ 215,359.50	\$ 27,606.64	\$ 182,602.60	\$ 18,702.10	\$ 25,972.20	\$ 171,792.35	\$ 17,594.95	\$ 17,594.95
3	3	Broward Cty Tax Collector	12/18/24	NAV Taxes	\$ 985,664.11		\$ (18,928.09)	\$ (39,259.12)	\$ 927,476.90	\$ 118,871.01	\$ 786,264.30	\$ 80,528.80	\$ 111,853.55	\$ 739,848.40	\$ 75,774.95	\$ 75,774.95
4									\$ -							\$ -
5									\$ -							\$ -
6									\$ -							\$ -
7									\$ -							\$ -
8									\$ -							\$ -
9									\$ -							\$ -
10									\$ -							\$ -
11									\$ -							\$ -
12									\$ -							\$ -
13									\$ -							\$ -
14									\$ -							\$ -
15									\$ -							\$ -
16									\$ -							\$ -
					\$1,415,499.02	\$ -	\$ (27,179.43)	\$ (56,527.08)	\$ 1,331,792.51	\$ 170,708.97	\$ 1,129,143.65	\$ 115,646.40	\$ 160,613.71	\$ 1,062,371.10	\$ 108,807.70	\$ 108,807.70

24/25 Assessment Roll:

Admin: \$191,896.95
 Maint: \$1,268,725.15
 2020 Debt: \$129,868.80
\$1,590,490.90

Collections
 89.00%

Note: \$1,590,491, \$191,897, \$1,268,869 and \$129,869 are 2024/2025 budgeted assessments before discounts and fees.
 \$1,495,062, \$180,383, \$1,192,602 and \$122,077 are 2024/2025 budgeted assessments after discounts and fees.

\$ 1,415,499.02	
\$ -	\$ 1,331,792.51
\$ (170,708.97)	\$ (160,613.71)
\$ (1,129,143.65)	\$ (1,062,371.10)
\$ -	\$ -
\$ (115,646.40)	\$ (108,807.70)
\$ 0.00	\$ -

RESOLUTION 2025-01

**A RESOLUTION OF THE WALNUT CREEK
COMMUNITY DEVELOPMENT DISTRICT
DESIGNATING MICHAEL J. PAWELCZYK AS THE
DISTRICT'S REGISTERED AGENT AND DESIGNATING
THE OFFICE OF BILLING, COCHRAN, LYLES, MAURO
& RAMSEY, P.A. AS THE REGISTERED OFFICE**

WHEREAS, Section 189.014, Florida Statutes requires that the Walnut Creek Community Development District (the "District") designate a registered office and a registered agent, and further authorizes the District to change its registered office and registered agent, at the discretion of the District Board of Supervisors (the "Board"); and

WHEREAS, the designation of both a registered office and a registered agent is for the purpose of accepting service of process, notice, or demand that is required or permitted by law to be served upon the District; and

WHEREAS, the Board has been informed by the office of District Counsel that there is a need to designate a new registered agent for the District; and

WHEREAS, the Board seeks designate Michael J. Pawelczyk as the registered agent for the District, and update the business address of the registered office of the District, as necessary.

**NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF
SUPERVISORS OF THE WALNUT CREEK COMMUNITY
DEVELOPMENT DISTRICT, THAT:**

Section 1. The foregoing recitals are hereby incorporated as findings of fact of the Board.

Section 2. Michael J. Pawelczyk is hereby designated as the registered agent for the District, thereby replacing any previously designated registered agent.

Section 3. The registered office of the District is hereby designated as the office at Billing, Cochran, Lyles, Mauro & Ramsey, P.A., 515 East Las Olas Boulevard, Suite 600, Fort Lauderdale, Florida 33301. The registered office is identical to the business address of the registered agent designated in Section 2 of this Resolution.

Section 4. Pursuant to the requirements of Section 189.014(2), Florida Statutes, the District's Secretary shall transmit copies of this Resolution to the local governing authority or authorities and to the Florida Department of Economic Opportunity.

Section 5. All resolutions or parts of resolutions in conflict herewith are repealed to the extent of such conflict.

Section 6. If any clause, section or other part or application of this Resolution is held by a court of competent jurisdiction to be unconstitutional, illegal or invalid, in part or as applied, it shall not affect the validity of the remaining portions or applications of this Resolution.

Section 7. This Resolution shall be effective immediately upon adoption.

PASSED AND ADOPTED THIS _____ 21st _____ DAY OF _____ January _____, 2025.

**WALNUT CREEK
COMMUNITY DEVELOPMENT DISTRICT**

ATTEST:

Print name: _____
Secretary/Assistant Secretary

Print name: _____
Chair/Vice-Chair, Board of Supervisors

Pest Findings by Location

WALNUT CREEK CDD TAFT ST WATERFALLS

DEC 01, 2024 TO JAN 01, 2025

Iguana Control

Finding Types: All Finding Types

Target Pests: Iguana

Walnut Creek CDD Taft St Waterfalls, 1978 Northwest 76th Avenue, Pembroke Pines, FL 33024

Device	Date	Pest	Type	Quantity
Property	12/05/2024 01:18 PM	Iguana	Sighted	6
	12/06/2024 02:09 PM	Iguana	Sighted	5
	12/10/2024 01:16 PM	Iguana	Sighted	3
	12/12/2024 10:15 AM	Iguana	Sighted	1
	12/13/2024 12:54 PM	Iguana	Sighted	3
	12/19/2024 01:14 PM	Iguana	Sighted	3

Total Iguanas (Consolidated) for December 2024 (waterfalls): 21
R.G.

Pest Findings by Location

WALNUT CREEK CDD LAKES & CANALS

DEC 01, 2024 TO JAN 01, 2025

Iguana Control

Finding Types: All Finding Types

Target Pests: Iguana

Walnut Creek CDD Lakes & Canals, 7500 NW 20th St, Hollywood, FL 33024-1079

Device	Date	Pest	Type	Quantity
Property	12/05/2024 01:19 PM	Iguana	Sighted	2
	12/06/2024 02:10 PM	Iguana	Sighted	7
	12/13/2024 11:51 AM	Iguana	Sighted	2
	12/13/2024 01:43 PM	Iguana	Sighted	6
	12/20/2024 12:00 PM	Iguana	Sighted	4

Total Iguanas (Consolidated) for December 2024 (Lakes & Canals): 21
R.G.

Walnut Creek CDD – Holiday Lighting

Christmas Lights by AMCO	EPIC Landscaping	Stallion Equities d.b.a. Randy’s Holiday Lighting
Installation and removal of holidays lighting decoration. Areas included: <ul style="list-style-type: none"> - Taft ST. Waterfall - Taft. ST Entrance (4 Palms each side). <ul style="list-style-type: none"> - Taft ST. Guardhouse - Sheridan ST. Entrance Monument - Sheridan ST. Guardhouse 		
Warm White LED C-9 for the guardhouses and waterfall. Warm White Mini-Lights for Palms.	Warm White LED C-7 and C-9 for the guardhouses and main (Taft) entrance palms. Warm White Mini-Lights for waterfall palms trunks, and Green for fronds.	Warm White LED C-7 for the guardhouses and waterfall. Warm White Mini-Lights for Palms and planters.
Includes digital timers for all outlets.		Includes optical (photo-cell) timers for all outlets. Dusk-Down.
<i>*Technical specs about lighting and cable (to be used), detailed in every proposal.</i>		
Total Price: \$24,428.44	Total Price: \$11,870.00	Total Price: \$10,693.00
<i>**See itemized price in the proposal.</i>	<i>**See itemized price in the proposal.</i>	<i>**See itemized price in the proposal.</i>
50% Deposit required		
<i>***Proposals valid for a 3-year agreement. As per vendors.</i>		

November 15, 2024

**Walnut Creek
7500 NW 20th Street
Pembroke Pines, FL 33024**

Att: Ronald Galvis

Re: Holiday Lighting Décor

Dear Ronald,

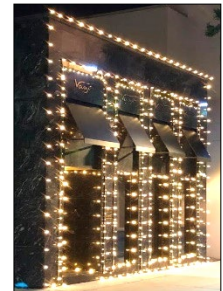
It was a pleasure meeting with you regarding your holiday lighting needs at the above-mentioned property. Attached you will find our proposal for general Holiday Lighting and Decorating for your consideration and review.

Christmas Lights by Amco is an American based company with offices in New Jersey and South Florida. We are family owned and operated providing personal service to every client since 1962. Our services are turn-key inclusive of renderings, installation, removal and storage for next season. We enjoy designing personalized displays for both our residential and commercial clients. Our clients include shopping malls, main street restaurants, office buildings, schools, churches, medical centers, warehouses, food establishments and corporate functions as well as residential homes of all sizes.

Christmas Lights by Amco is a nationwide CLIPA certified installer in Christmas/Holiday and Event Decorating. Rest assured you are in good hands. CLIPA installers must adhere to quality control guidelines and provide consistent monitoring.

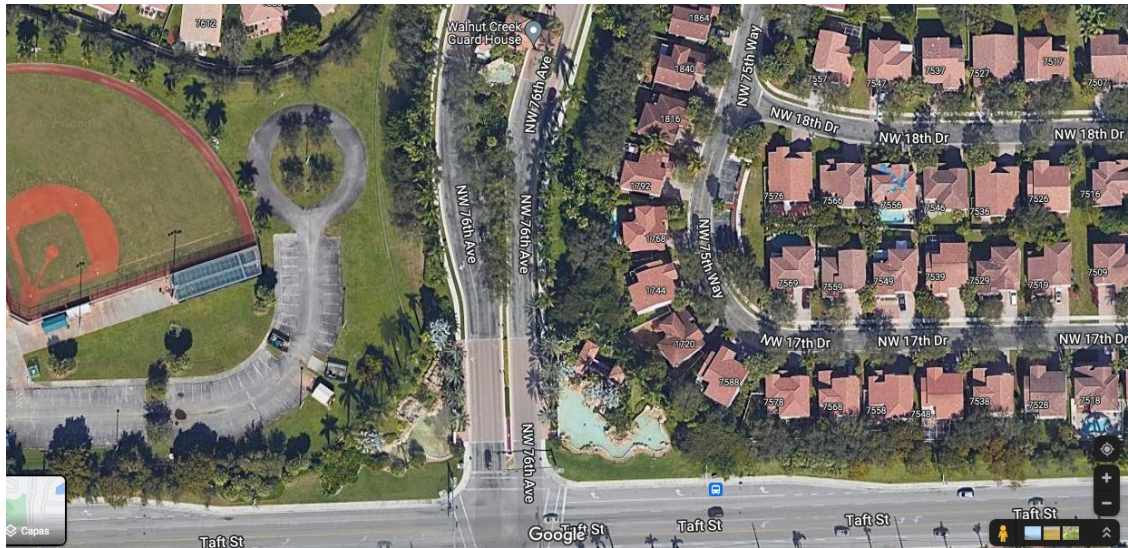
Should you have any questions regarding this proposal, feel free to contact us at the address or phone number below.

George J. Caso
President
908-209-7410



We propose the following:

Main entrance (NW 76th Ave, Taft St)



Guard House

1. We are going to place C-9 warm white lights, around the entire roof of the guard post. 380 ft.
Total \$1,501.00 plus tax.
2. We are going to place 750 LED warm white Minis to the Oak tree that is behind the left side checkpoint (exit) and 1000 warm white LED minis to two palm trees that are together, on the right side (entrance)
Total \$1,277.50 plus tax.
3. In the front of the sentry box, we will illuminate with Led Warm White Minis, three palm trees on the left side and on the right side another group of three thin palm trees, in total 3600 LED Minis.
Total \$2,628.00 plus tax.

4. We will place Ground light with C-9 bulbs around the fountain that is in front of the checkpoint. 25 feet.
Total \$74.75 plus tax.
5. We will place Minis Led warm white to the 8 palm trees that are along the entrance, 4 on the right, 4 on the left, 1000 lights at each, total 8000 minis white.
Total \$5,840.00 plus tax.

Right Corner

6. We will place C-9 bulbs in front and sides of the building that is behind the fountain. 210ft.
Total \$829.50 plus tax.
7. Group of 3 palm trees in front of the same building. 2400 Minis LED warm white.
Total \$1,752.00 plus tax.
8. Group of 8 thin palm trees between the two sings. 2000 Minis LED warm white.
Total \$1,460 plus tax.
9. We will illuminate a group of robellini Palms, which are in front of the fountain, with 950 Minis white LED white.
Total \$693.50 plus tax.
10. 46ft of Ground light in front of the fountain.
Total \$137.54 plus tax.

Left Corner

11. We will illuminate 5 of the palm trees that are behind the fountain. 4000 Minis LED warm white.
Total \$2,920.00 plus tax.
12. We will place lights on all the robellini Palms, which are in front of the fountain. 2000 Minis Led warm white.
Total \$1,460.00 plus tax.

Christmas Lights by Amco

Page 4

13. 100 ft. of Ground light in front of the fountain.
Total \$299.00 plus tax.

Second Entrance (NW 76th Ave, Sheridan St)



14. We will place C-9 bulbs around the roof of the guard post. 110ft.
Total \$ 434.50 plus tax.
15. We will illuminate the bushes in front of the checkpoint, on the inside side with 1500 LED warm white Minis.
Total \$780.00 plus tax.
16. The two shrubs on the sides of the sentry box with 1000 LED warm white Minis.
Total \$520.00 plus tax.
17. The two small shrubs in front of the checkpoint, on the outside side with 600 LED warm white Minis.
Total \$312.00 plus tax.

- 18. We will place 200 LED warm white Minis in the two robellini palms in front of the checkpoint.
Total \$146.00 plus tax.
- 19. We will illuminate the three trees and the group of robellini Palms, which are next to the sign. 1500 LED warm white minis.
Total \$1095.00 plus tax.
- 20. We will place a piece of Garland decorated and lighted, on top of the sign. 9ft.
Total \$141.75 plus tax.
- 21. We will illuminate the top of each column of the sign with C-9, 32ft bulbs.
Total \$126.40 plus tax.

All prices include installation of wiring, timers, lights and decorations as well as take-down and storage.

Total cost for holiday decorating will be \$24,428.44 plus Florida State sales tax. This cost and proposal will be valid for Three years (2025, 2026, 2027 seasons).

Payment Terms: 50% of payment due upon signing. Balance due on installation.

Your continued confidence in Christmas Lights by Amco is greatly appreciated. If you have any questions or need additional information regarding the proposal, please contact me at your earliest convenience.

Sincerely,

George J. Caso
President
Christmas Lights by
Amco

By signing this document, I accept this proposal and acknowledge the policies, terms and conditions set forth in the disclosure. Please initial, sign and date the disclosure also.

Approval (signature)

Date

Christmas Lighting by Amco Policies, Terms and Conditions

Christmas Lighting by Amco's service is comprised of the design, installation, and removal of holiday decorations. All lighting and decorations remain the property of the service provider. This is a service agreement only and no goods are being sold.

Lighting and Decorations: Christmas Lighting by Amco warrants the quality of our decorations and workmanship as provided below. Should you have any problems with the decorations we want to correct them as soon as possible. We recommend that you turn the lights on for several hours over the first three to four evenings to test the lighting program. This will allow us to make corrections as soon as possible in order to maximize your enjoyment of the decorations. Repairs needed due to vandalism, extraordinary weather conditions and customer added lights are not warranted and will be billed as additional services. Power failure or tripping of GFI circuits that occur as a result of inclement weather cannot be the responsibility of Christmas Lighting by Amco. We will perform the required service calls to solve these issues, but we cannot be held liable for damage that may occur as a result of acts of nature. Upon reinstallation, all non-functioning bulbs and/or miniature light sets will be replaced at no additional charge; this is included in the reinstallation and removal charge. As plants grow, we will add additional lights to any landscape lighting at our discretion and bill the service at the appropriate rates. Any additional items requested at the time of service will also be invoiced accordingly.

Billing Issues and Quality of Service: In the event that you have a question concerning any billing, contact our office within 7 days, or we assume that the billing is correct. All services, unless otherwise agreed, are billed at the time of installation, at which time payment is due. This normally would include materials, set up, installation accessories, removal, and boxing of decor. Storage of all decor is included with the service; Christmas Lighting by Amco guarantees the quality of all material and workmanship; however, any questions regarding the quality of workmanship must be addressed within 7 days of service, or before the next service is to be performed, whichever comes first.

Seasonal Lighting: Please be advised that all standard lighting that is installed is suitable only to be used as seasonal, temporary lighting unless otherwise specified. Christmas Lighting by Amco can only warrant seasonal lighting up to 90 days. Product life expectancy should not exceed 90 days when used continuously. Please consult your representative if you are interested in a permanent type of lighting. There is no permanent type of mini lighting or tree lighting available.

Photos: Please note, that unless otherwise agreed upon, Christmas Lighting by Amco reserves the right to take photos of our decor services on your property and use representations of these same photos for marketing purposes to include, but not limited to, brochures, portfolios, internet or postcards. The use of photo representations does not imply that any financial or other consideration will be given for said use. Further, we reserve the right on commercial accounts to state the property name and/or address.

Terms and Conditions: A deposit may be required at the time your order is placed. Full payment for every item and service is due according to the invoice terms on the date of service. In the event payment is not made within terms on invoice, a finance charge of 18% (eighteen percent) per annum, but in no event more than the maximum amount allowed at law, shall be assessed and due on the unpaid balance from the due date until payment is received in full by Christmas Lighting by Amco. Payments received will be applied first to any outstanding FINANCE CHARGE and the remainder to the unpaid balance on the account. In the event the purchaser fails to make payments as required, your account shall be considered in default and the purchaser shall be responsible for costs of collection and reasonable attorneys' fees, as allowed by law. Client will provide all electrical power sources. If a requested item becomes unavailable, Christmas Lighting by Amco reserves the right to substitute an item of equal or better quality, subject to customer agreement or to delete the terms off of installation and invoice. Residential clients will be bound by continuing service agreement, meaning that yearly decor services are authorized unless Christmas Lighting by Amco is notified otherwise.

Lease Agreements: All clients, unless otherwise noted, will be serviced under the terms of the continuing service agreement. For those residential or commercial clients opting for a "multiple year" lease agreement, the contract will apply to the following decorating season(s):

_____ Initials _____. For commercial clients, please see separate lease contract.

Installation and Removal: Holiday decorations shall be installed and removed at your request if possible. Clients designating times are given priority based upon first-in-time notice. All services are subject to weather conditions and demand. The service provider retains sole discretion as to the timing of services and no breach occurs based on dates of services.

Limited Warranty and Limitation of Liability and Remedies: BOTH PARTIES TO THIS CONTRACT AGREE THAT IN THE EVENT OF THE FAILURE OR MALFUNCTION OF THE LIGHTING AND/OR DECORATIONS PROVIDED, THE SOLE AND EXCLUSIVE REMEDY AVAILABLE TO THE CLIENT SHALL BE THE REFUND OF THE COST OF THE SERVICES PROVIDED UNDER THIS AGREEMENT OR THE REPAIR OR REPLACEMENT OF THE LIGHTING AND/OR DECORATIONS, TO BE DETERMINED SOLELY AT THE DISCRETION OF THE SERVICE PROVIDER.

BOTH PARTIES AGREE THAT CHRISTMAS LIGHTING BY AMCO WILL NOT BE LIABLE FOR ANY CONSEQUENTIAL DAMAGES OF ANY NATURE CAUSED TO THE PROPERTY OF THE CLIENT BY ANY FAILURE OR MALFUNCTION OF THE LIGHTING AND DECORATIONS PROVIDED UNDER THIS AGREEMENT. SOME STATES MAY NOT ALLOW FOR THE EXCLUSION OR LIMITATION OF INCIDENTAL AND CONSEQUENTIAL DAMAGES, SO THE ABOVE LIMITATION AND EXCLUSION MAY NOT APPLY TO YOU.

BOTH PARTIES AGREE THAT ANY CLAIM BY THE CLIENT THAT THE WORKMANSHIP OR MATERIALS USED ARE DEFECTIVE OR NONCONFORMING MUST BE BROUGHT TO THE ATTENTION OF THE CHRISTMAS LIGHTING BY AMCO REPRESENTATIVE IN WRITING WITHIN 72 HOURS OF THE SERVICE. FAILURE TO DO SO RESULTS IN A COMPLETE AND FINAL WAIVER OF ALL CLAIMS

Arbitration: ANY AND ALL DISPUTES THAT MAY ARISE BETWEEN THE PARTIES SHALL BE SETTLED BY ARBITRATION IN ACCORDANCE WITH STATE LAW WHERE THE SERVICE PROVIDER IS LOCATED. THE ARBITRATOR'S AWARD SHALL BE FINAL AND BINDING ON ALL PARTIES, AND JUDGMENT MAY BE ENTERED BY A COURT OF COMPETENT JURISDICTION IN THE COUNTY OF THE SERVICE PROVIDER WHERE ALL ARBITRATION PROCEEDINGS SHALL BE CONDUCTED THROUGH THE DISPUTE RESOLUTION CENTER, OR ITS SUCCESSOR.

I have read, understand and agree to the above policies, terms, and conditions. Customer has the right to rescind this contract by giving written notice to the service provider within three days from the date below.

Customer _____ Date _____



Estimate 202
Wed Nov 13, 2024
Epic Landscaping
6650 sw 189th way
Southwest Ranches, Florida 33332
www.epicholidaylights.com
9546809995
josebarquero@epiclandscaping.org

Customer
Walnut Creek

Notes Required Deposit
- Deposit to start \$5,935.00

Item(s)				
Qty	Name	Description	Rate	Amount
1	***Location***	Main Entrance on Taft St & 76th Ave	\$0.00	\$0.00
8	Medjool Palm Trunk and Fronds Warm white trunk, green fronds	Spiral wrap the trunk of the Medjool Palm with coaxial LED warm white lights, and the fronds with LED green lights, which come with coaxial connectors and rubber seals for extra protection against external factors. Fronds = Green Trunk = Warm White 4 palms located at entrance 4 palms located at exit	\$720.00	\$5,760.00
10	Shrubs Warm White	To cover the area of the shrubs, install warm white LED lights in a zigzag pattern. To cover the shrubs around each medjool palm, 8 palms total 4 at entrance 4 at exit and the two sections of hedges located at the center median	\$95.00	\$950.00
1	C7 Installation Warm white: C9 Installation Warm White	Outline the fascia and ridges of the Guardhouse and tower with approx 450Inft of C9 Warm White bulbs	\$2,550.00	\$2,550.00
1	***Location***	Resident Entrance 1800 NW 76th Ave, Pembroke Pines, Fl 33024	\$0.00	\$0.00
1	C7 Installation Warm white: C9 Installation Warm White	Outline the monument wall with warm white led lights.	\$150.00	\$150.00
1	Shrubs Warm White	To cover the area of the shrubs, install warm white LED lights in a zigzag pattern. Located at the Center Median behind the monument area	\$250.00	\$250.00
1	C7 Installation Warm white: C9 Installation Warm White	Outline the ridge and fascia of the guardhouse located at the second center median.	\$520.00	\$520.00
4	Robellini Palm Trunk Only Warm White	Spiral wrap the trunk of the Robellini Palm with coaxial LED warm white lights which come with coaxial connectors and rubber seals for extra protection against external factors. 2 located at the 1st center median 2 located at the 2nd center median, front of the guardhouse	\$65.00	\$260.00
1	***Location***	Fountain area on Main Entrance	\$0.00	\$0.00

1	C7 Installation Warm white: C9 Installation Warm White	Outline the area in front of the reclinata with c9 bulbs, warm white. 50' Approx	\$290.00	\$290.00
12	Reclinata Trunk Warm White	Spiral wrap the trunk of the Reclinata Palm with coaxial LED warm white lights, which come with coaxial connectors and rubber seals for extra protection against external factors. Price per leg of the palm	\$95.00	\$1,140.00
	Subtotal	Subtotal		\$11,870.00

Subtotal	<u>\$11,870.00</u>
Tax	<u>\$0.00</u>
Total	<u>\$11,870.00</u>

Notes

- *We will charge you an additional fee for any damage to lights or decorations caused by vandalism or electrical surges.
- *Please note that Epic Landscaping reserves the right to use pictures of the above-mentioned decor for promotional purposes.
- *All trees and palms must be substantially pruned by September 15th or at least 60 days before your turn-on date. Failing to do so will result in pruning charges.
- *The installation date will be reserved once your contract is signed and a 50% deposit is received. The remaining 50% is due upon completion of the installation.
- *Electrical outlets are required to light up each area.
- *If there is no electrical outlet available in a particular section and we need to run an extension cord through pavers to light up a tree, Epic Landscaping will not be held responsible for any accidents that might occur due to the lack of an outlet in that section. We will secure the extension cord with hot glue and position it in an area to prevent the cable from becoming loose.
- *Outlets with GFCIs are notoriously susceptible to tripping. It is the customer's responsibility to reset all GFCIs. It is impossible to prevent GFCI-protected outlets or breakers from tripping when the lights get wet. Once completely dried out, they require a simple reset. Make sure someone checks them every evening to ensure power is going to the lights.
- *All prices include extension cords, staples, tie wraps, etc., to complete the job.
- *All prices are for leased products unless otherwise noted.

Terms

Signature

Date



3718 Interstate Park Rd N
Riviera Beach, FL 33404

Estimate

Date	Estimate #
1/1/2025	13839

Name / Address
Walnut Creek Community Development Distri C/O Special District Services, Inc. 1800 NW 76th Ave, Pembroke Pines, FL 3302 786-347-2711, 786-985-8848

Ship To
95 south, exit Sheridan St. and go west make a left on 441 (state Rd. 7), then make a R on Taft Street, go a little more than a mile, make a R into Walnut Creek, after guard, first R, first L

Terms	Rep	Account #	Project
Net 30	RG		

Description	Qty	Cost	Total
*****CUSTOMER HAS REQUESTED THAT WE INSTALL OUR PHOTOCCELL TIMERS ON ALL OUTLETS REGARDLESS OF WHETHER OR NOT THEY ARE CONTROLLED BY AN IN-HOUSE TIMER OR PHOTOCCELL - MAKE SURE TO INSTALL OUR TIMERS ON ALL OUTLETS & SET THEM DUSK TO DAWN***** Timer is on entrance side behind waterfall. Guardhouse is on a photocell behind the guardhouse. Timers charge Specialty items not in Regular Inventory or Special Instructions for installation crew 58' TRUCK NEEDED FOR THIS INSTALLATION INSTRUCTIONS: (ENTER INTERSECTION INFO & ZIP CODE) OR (JOB ADDRESS) BELOW INTO GPS FOR DETAILED DIRECTIONS: TAFT ST & NW 76TH AVE TAFT ENTRANCE (EAST SIDE): Outline 2 signs on East side on entrance with 35' of WARM WHITE LED C-7 lights per sign White wire C-7 stringer (12" spacing) cost per foot C-7 WARM WHITE LED bulbs (for C-7 stringer)	25	18.00	450.00T
Light multi trunked Phoenix Reclinata Palm with 30 sets of COAXIAL WARM WHITE LED mini lights Coaxial WARM WHITE LED mini lights (green wire) (these lights have screw together connectors with rubber seals)	30	26.00	780.00T
TAFT ENTRANCE (CENTER): Light trunks & fronds of 8 Medjool Palms (4 on each side) with 32 sets of COAXIAL WARM WHITE LED mini lights each (18 fronds to be lit per tree)	70	2.50	175.00T
	70	2.50	175.00T

WE USE ONLY THE HIGHEST QUALITY COMMERCIAL GRADE PRODUCTS, YOUR SATISFACTION IS GUARANTEED.	Subtotal
	Sales Tax (0.0%)
	Total

Print Name _____

Signature

Phone #	Fax #	E-mail	Web Site
561-845-8000	561-845-8008	office@randysholidaylighting.com	randysholidaylighting.com



3718 Interstate Park Rd N
Riviera Beach, FL 33404

Estimate

Date	Estimate #
1/1/2025	13839

Name / Address
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Ship To
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Terms	Rep	Account #	Project
Net 30	RG		

Description	Qty	Cost	Total
Coaxial WARM WHITE LED mini lights (green wire) (these lights have screw together connectors with rubber seals)	256	26.00	6,656.00T
Scatter light 8 planter beds with 45 sets of COAXIAL WARM WHITE LED mini lights located at each Medjool Palm (5 or 6 sets per planter)			
Coaxial WARM WHITE LED mini lights (green wire) (these lights have screw together connectors with rubber seals)	45	24.00	1,080.00T
TAFT ENTRANCE (GUARD HOUSE):			
Outline the roofline edge of guard house with WARM WHITE LED C-7 lights (250')			
White wire C-7 stringer (12" spacing) cost per foot	250	2.50	625.00T
C-7 WARM WHITE LED bulbs (for C-7 stringer)	250	2.50	625.00T
INSTRUCTIONS: (ENTER INTERSECTION INFO & ZIP CODE) OR (JOB ADDRESS) BELOW INTO GPS FOR DETAILED DIRECTIONS: SHERIDAN ST & NW 76TH AVE			
SHERIDAN ENTRANCE:			
Outline the roofline edge of guard house with WARM WHITE LED C-7 lights (60')			
White wire C-7 stringer (12" spacing) cost per foot	60	2.50	150.00T
C-7 WARM WHITE LED bulbs (for C-7 stringer)	60	2.50	150.00T
Outline road sign with WARM WHITE LED C-7 lights (35')			
White wire C-7 stringer (12" spacing) cost per foot	35	2.50	87.50T

WE USE ONLY THE HIGHEST QUALITY COMMERCIAL GRADE PRODUCTS, YOUR SATISFACTION IS GUARANTEED.	Subtotal
	Sales Tax (0.0%)
	Total

Print Name _____

Signature

Phone #	Fax #	E-mail	Web Site
561-845-8000	561-845-8008	office@randysholidaylighting.com	randysholidaylighting.com



3718 Interstate Park Rd N
Riviera Beach, FL 33404

Estimate

Date	Estimate #
1/1/2025	13839

Name / Address
Walnut Creek Community Development Distri C/O Special District Services, Inc. 1800 NW 76th Ave, Pembroke Pines, FL 3302 786-347-2711, 786-985-8848

Ship To
95 south, exit Sheridan St. and go west make a left on 441 (state Rd. 7), then make a R on Taft Street, go a little more than a mile, make a R into Walnut Creek, after guard, first R, first L

Terms	Rep	Account #	Project
Net 30	RG		

Description	Qty	Cost	Total
C-7 WARM WHITE LED bulbs (for C-7 stringer)	35	2.50	87.50T
Light lower bushes in front of sign and around entire median with 35 sets of COAXIAL WARM WHITE LED mini lights Coaxial WARM WHITE LED mini lights (green wire) (these lights have screw together connectors with rubber seals)	35	24.00	840.00T
BUCKET TRUCK/EQUIPMENT FEE: INCLUDED	0	0.00	0.00
10% discount for 3 year contract - Customer agrees to spend not less than 90% of the first year contract price over the next three (3) years in exchange for a 10% discount each of the 3 years. If customer chooses to cancel the contract prior to the expiration of the contract, the customer will reimburse Randy's Holiday Lighting the amount of the discount given each of the prior years. Cancellation must occur in writing no later than September 1st of each year, prior to their job being scheduled, or the customer will be obligated for the full amount of the contract for that year. (YEAR 1 OF 3)	1	-1,188.00	-1,188.00T
*This is a contract, make sure you understand the terms before you sign it. *Set-up, maintenance, take-down and storage is included. Maintenance is included from November 15th through January 2nd. Repairs outside of that time will cost extra. Lights can be left up until the end of January at no additional charge. Lights to be left up beyond that time will incur additional charges. All greens (trees, wreaths, garland, menorahs, etc.) must come down by January 15th. Any greens left up beyond January 15th at the customers request, will incur additional charges. *Estimates are valid for only 30 days.		0.00	0.00T

WE USE ONLY THE HIGHEST QUALITY COMMERCIAL GRADE PRODUCTS, YOUR SATISFACTION IS GUARANTEED.	Subtotal
	Sales Tax (0.0%)
	Total

Print Name _____

Signature

Phone #	Fax #	E-mail	Web Site
561-845-8000	561-845-8008	office@randysholidaylighting.com	randysholidaylighting.com



3718 Interstate Park Rd N
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Estimate

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Terms	Rep	Account #	Project
Net 30	RG		

Description	Qty	Cost	Total
<p>*All pricing includes all extension cords, staples, tie wraps, etc. in order to complete each job.</p> <p>*All prices are for leased product, unless otherwise noted.</p> <p>***GFI outlets are notoriously sensitive to tripping. Customers are responsible for resetting all GFI's. There is no way to prevent GFI protected outlets or breakers from tripping when the LIGHTS get wet. They simply must be reset once they are dried out. Please have someone check them each evening to ensure that power is going to the lights.</p> <p>*In order to minimize the tripping of the GFI outlets make sure to not run your sprinklers at the same time any of the lights are on. Also, DO NOT tape up any connections, this will only trap moisture. Failure to follow these instructions may void the warranty.</p> <p>*Electrical receptacles are necessary for each area to be lit.</p> <p>*All trees & palms must be substantially pruned by September 15th or a minimum of 60 days prior to your turn-on date, failure to do so will result in pruning charges.</p> <p>*Hot glue is the only effective way to attach lights to concrete or stucco surfaces and some residue may be left once the lights are removed. We will make every effort to minimize the leftover residue and damage that may occur when removing the lights but the customer may have to make some repairs to the concrete/stucco surfaces after the lights have been removed. Randy's Holiday Lighting will not be responsible for repairing these surfaces if they become damaged during removal.</p> <p>*INSTALLATION DATES are booked upon receiving your signed contract and a 50% deposit.</p> <p>*Removal of all lighting is done from Jan 2nd through Jan 31 unless other arrangements are made in writing. Removal of all greens (Xmas trees, garland, wreaths, menorahs, etc) is done between January 2nd and January 15th.</p> <p>*All damages or theft to lights and decorations that we have no control over, i.e. vandalism, theft, damage from lawn</p>			

WE USE ONLY THE HIGHEST QUALITY COMMERCIAL GRADE PRODUCTS, YOUR SATISFACTION IS GUARANTEED.	Subtotal
	Sales Tax (0.0%)
	Total

Print Name _____

Signature

Phone #	Fax #	E-mail	Web Site
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Estimate

Date	Estimate #
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Name / Address
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Ship To
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Terms	Rep	Account #	Project
Net 30	RG		

Description	Qty	Cost	Total
<p>maintenance equipment, severe weather, electrical surges, or unpruned palm fronds will be billed as an additional charge to the customer. In the event of a disaster (i.e. hurricane, tornado, etc.) damaged lights/decorations or lights that must be reinstalled will be charged to the customer.</p> <p>*All lights are attached by staples and this pricing reflects using staples. If, for any reason, we cannot use staples, there will be an upcharge for alternate methods of attaching lights.</p> <p>*It is necessary many times to drive our trucks on sidewalks in order to install holiday lights but we will not be responsible for any damage our trucks may do to the sidewalks. If you do not want our trucks to drive on your sidewalks, you must notify us in writing.</p> <p>* Any legal action brought by or against either party under the terms of this Agreement shall be determined by the laws of the State of Florida, and venue and jurisdiction for said action shall be within the county of Palm Beach and the State of Florida, respectively</p> <p>*Randy's Holiday Lighting must be allowed to install lights up to 60 days prior to your turn on date. The lights will remain unplugged until your turn on date, we will ensure that your lights work properly on that date.</p> <p>*If your lights are not working properly or changes need to be made regarding the decorations, please call Randy's cell phone (561-452-8766) to request repair service. We guarantee to repair or replace them within 48 hours upon notice of the problem. **LICENSED & INSURED**</p>			

WE USE ONLY THE HIGHEST QUALITY COMMERCIAL GRADE PRODUCTS, YOUR SATISFACTION IS GUARANTEED.	Subtotal	\$10,693.00
	Sales Tax (0.0%)	\$0.00
	Total	\$10,693.00

Print Name _____

Signature _____

Phone #	Fax #	E-mail	Web Site
561-845-8000	561-845-8008	office@randysholidaylighting.com	randysholidaylighting.com

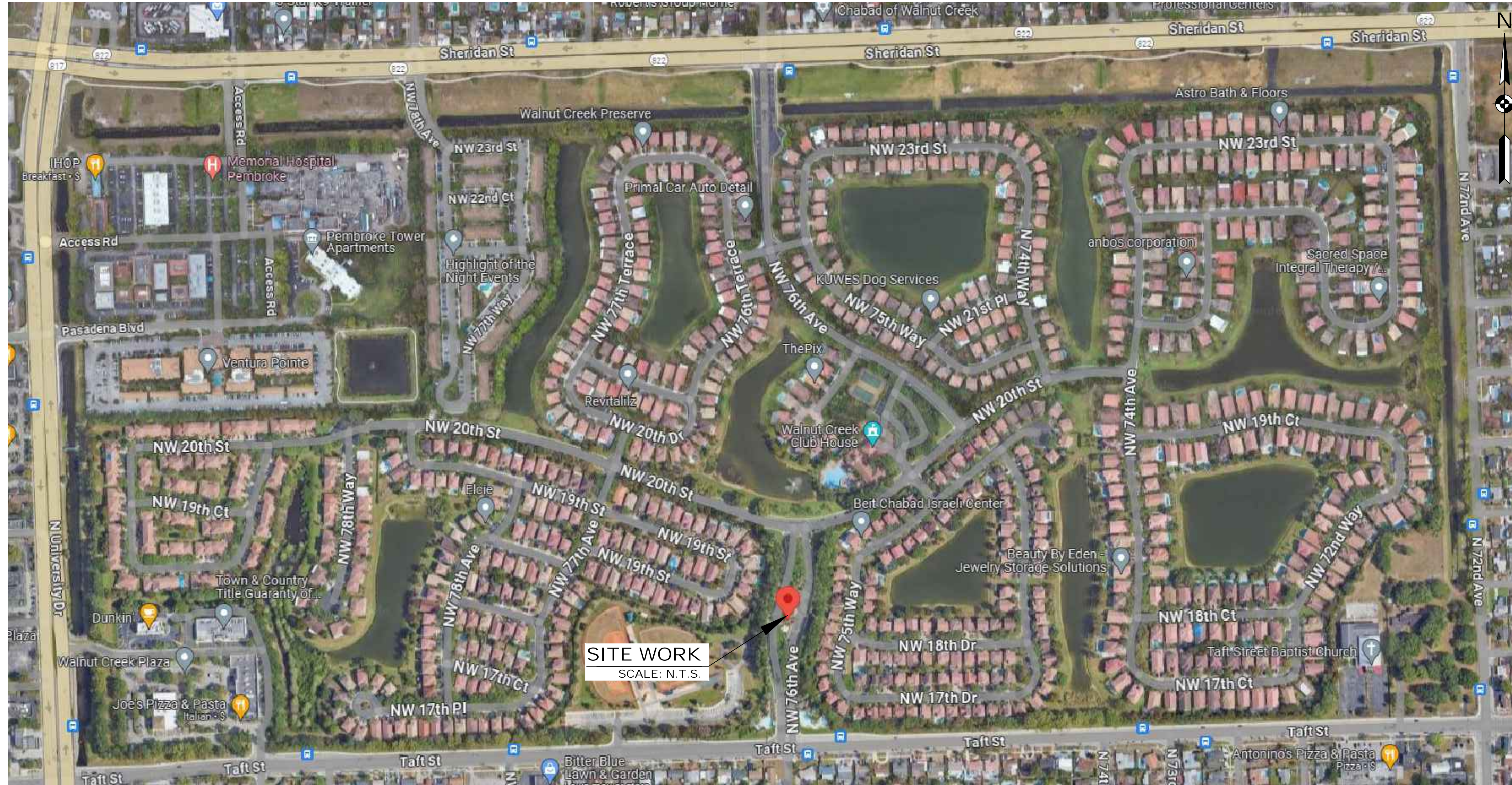
Walnut Creek CDD
Taft Visitors Entrance - Gate Trap Improvement Project

Arking Solutions	The Certified General Contractors Group (CGC)	Elite Innovations	Regions Security
Pembroke Pines FL	Pinecrest FL	Plantation FL	Miami FL
<p><i>Arking Solution is the company that prepared the original plans & scope for this project, based on the Traffic Study performed by Caltran Engineering.</i></p>			<p><i>Regions Security is the current contractor in charge of the Access Control Systems in the community.</i></p>
<p>Scope of Work (per bid plans):</p> <ul style="list-style-type: none"> - Installations of a Gate Trap Access System. - Gates access control and traffic calming controls for Public and Private Roads, considering Emergency Vehicles Response Criteria for gates. - Pavement and Route Way Work. - Electrical Work. 			
<p><i>Arking's proposal includes both, the civil work, and the Gate Trap Access Systems.</i></p>	<p><i>CGC's and Elite's Proposals are inclusive of civil work, but they do not supply the Gate Trap Access Systems.</i></p>		<p><i>Regions Security proposal is inclusive of Gate Trap Access System, but does not include civil work.</i></p>

<p style="text-align: center;">\$43,850.00</p> <p>Plus \$2,400.00 for the Permit Processing.</p> <p>Total: \$46,250.00</p>	<p style="text-align: center;">\$49,030.00</p> <p>Permit Processing included.</p>	<p style="text-align: center;">\$66,280.00</p> <p>Permit Processing included.</p>	<p style="text-align: center;">\$40,700.00</p> <p>Permit Processing included.</p>
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Permit Fees, payable to the City of Pembroke Pines or any other Government Agency are at an additional cost and not included in the presented proposals.

WALNUT CREEK GATE TRAP IMPROVEMENT



LOCATION SKETCH
SCALE: N.T.S.

GENERAL NOTES:

- ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 EDIT AND ALL REGULATORY LOCAL AND GOVERNMENTAL CODES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS FOR THE CONSTRUCTION AND SUBSEQUENT OCCUPANCY OF THE PROJECT.
- ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE DONE IN A NEAT AND WORKMAN LIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, RULES AND REGULATIONS HAVING JURISDICTION.
- CONTRACTOR TO PROVIDE ALL SUPPLEMENTARY MATERIALS REQUIRED TO INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EQUIPMENT AND UTILITIES TO BE REMOVED. REMOVALS SHALL BE COORDINATED WITH THE OWNER AND ALL BUILDING AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINED AS BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/ OR ADDITIONS TO THE WORK INCLUDING THE DRAWINGS.
- IF ANY CHANGES AND/OR DEVIATIONS RE MADE TO THESE PLANS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND DEVIATIONS.
- IF DURING THE COURSE OF CONSTRUCTION ANY DEVIATIONS ARE MADE AT THE FIELD, AGAIN, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND DEVIATIONS.
- ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR DESIGN CONFORMANCE ONLY.
- SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY THE ARCHITECT OR ENGINEERS.
- CONTRACTOR OR SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING HIS OPERATION AND ANY DAMAGE TO HIS WORK WHILE PROJECT IS UNDER CONSTRUCTION.
- ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT WHERE THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THERE OF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO ARCHITECT FOR HIS FULL COMMISSION.

DRAWING INDEX:

C - 1	COVER PAGE, SITE WORK & NOTES
C - 2	EXISTING & PROPOSED FLOOR PLAN
E - 1	ELECTRICAL COVER SHEET
E - 2	ELECTRICAL PLANS
E - 3	ELECTRICAL PANEL SCHEDULES, RISER DIAGRAM AND DETAILS
E - 4	ELECTRICAL SPECS

SCOPE OF WORK:

- INSTALLATION OF A GATE TRAP ACCESS SYSTEM.
- GATES ACCESS CONTROL AND TRAFFIC CALMING CONTROLS FOR PUBLIC AND PRIVATE ROADS CONSIDERING EMERGENCY VEHICLES RESPONSE CRITERIA FOR GATES.
- PAVEMENT AND ROUTE WAY WORK.
- ELECTRICAL WORK.
- NOT PLUMBING & MECHANICAL WORK.

DEMOLITION NOTES:

- THIS PLAN IS INTENDED TO SHOW THE OVERALL SCOPE OF DEMOLITION WORK TO BE DONE. IT DOES NOT SHOW ALL OF THE SPECIFIC MINOR ITEMS EXISTING IN THE SPACE THAT WILL BE REQUIRED TO BE REMOVED TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL VISIT THE JOB SITE AND PERFORM A WALK THRU WITH THE OWNER TO IDENTIFY THE SPECIFIC ITEMS NOT SHOWN ON THIS PLAN THAT WILL BE REMOVED AND COORDINATE WHICH ITEMS WILL BE DISPOSED OF AND WHICH WILL BE GIVEN TO THE OWNER FOR HIS STORAGE.
- THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK, TRASH REMOVAL, STORAGE, ETC WITH THE OWNER.
- THE OWNER SHALL SUPPLY THE CONTRACTOR WITH AN ASBESTOS SURVEY IDENTIFYING ANY ITEMS THAT MAY HAVE ASBESTOS. THE CONTRACTOR SHALL FOLLOW THE SURVEY AND ANY ITEMS HAVING ASBESTOS SHALL BE REMOVED OR CONTAINED AS REQUIRED BY A CERTIFIED ASBESTOS ABATEMENT CONTRACTOR.
- ALL WORK SHALL BE CUT, PATCHED OR MODIFIED AS REQUIRED AND REFINISHED AS WELL AS REFINISHING EXISTING ITEMS REMAINING TO ACHIEVE A CONSISTENT FINISH AND A SATISFACTORY COMPLETED CONDITION.
- THE CONTRACTOR SHALL PROVIDE SAFETY FEATURES OR METHODS DURING DEMOLITION AS REQUIRED BY APPLICABLE CODES, O.S.H.A. OR SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL PLUMBING, MECHANICAL AND ELECTRICAL ITEMS TO BE REMOVED OR RELOCATED PRIOR TO PERFORMING THE WORK.
- ALL SURFACES DAMAGED BY DEMOLITION SHALL BE REPAIRED AND REFINISHED TO MATCH ADJACENT SURFACES AND AS PER FINISH SCHEDULE.
- REMOVE ALL EXISTING CABINETS, FURNITURE AND FIXTURES DEPICTED ON THE DRAWINGS. COORDINATE WITH THE OWNER, THE DISPOSAL OR STORAGE OF THESE ITEMS.
- REMOVE ALL EXISTING FLOOR CARPET, TILE, ETC. AND PREPARE SURFACE TO RECEIVED NEW FINISHES PER FINISH AND/OR INTERIOR DESIGNERS SPECIFICATIONS OBSERVE ANY ITEMS ADDRESSED BY THE ASBESTOS SURVEY AS NOTED ABOVE.
- CONTRACTOR IS TO VERIFY WITH THE OWNER AND IDENTIFY ALL EXISTING PIPES, CONDUITS, ETC. PRIOR TO DEMOLITION. CONTRACTOR SHALL IDENTIFY W/ PAINT ALL PIPES, CONDUITS, ETC. THAT ARE NOT GOING TO BE DEMOLISHED OR REMOVED.

Arking Solutions Inc.
18268 SW 3rd St, Pembroke Pines FL 33029
305-318-7703 786-547-2844 FAX 954-442-9413
www.arkingsolutions.com

WALNUT CREEK GATE TRAP
1800 NW 76th AVE,
PEMBROKE PINES, FL 33025

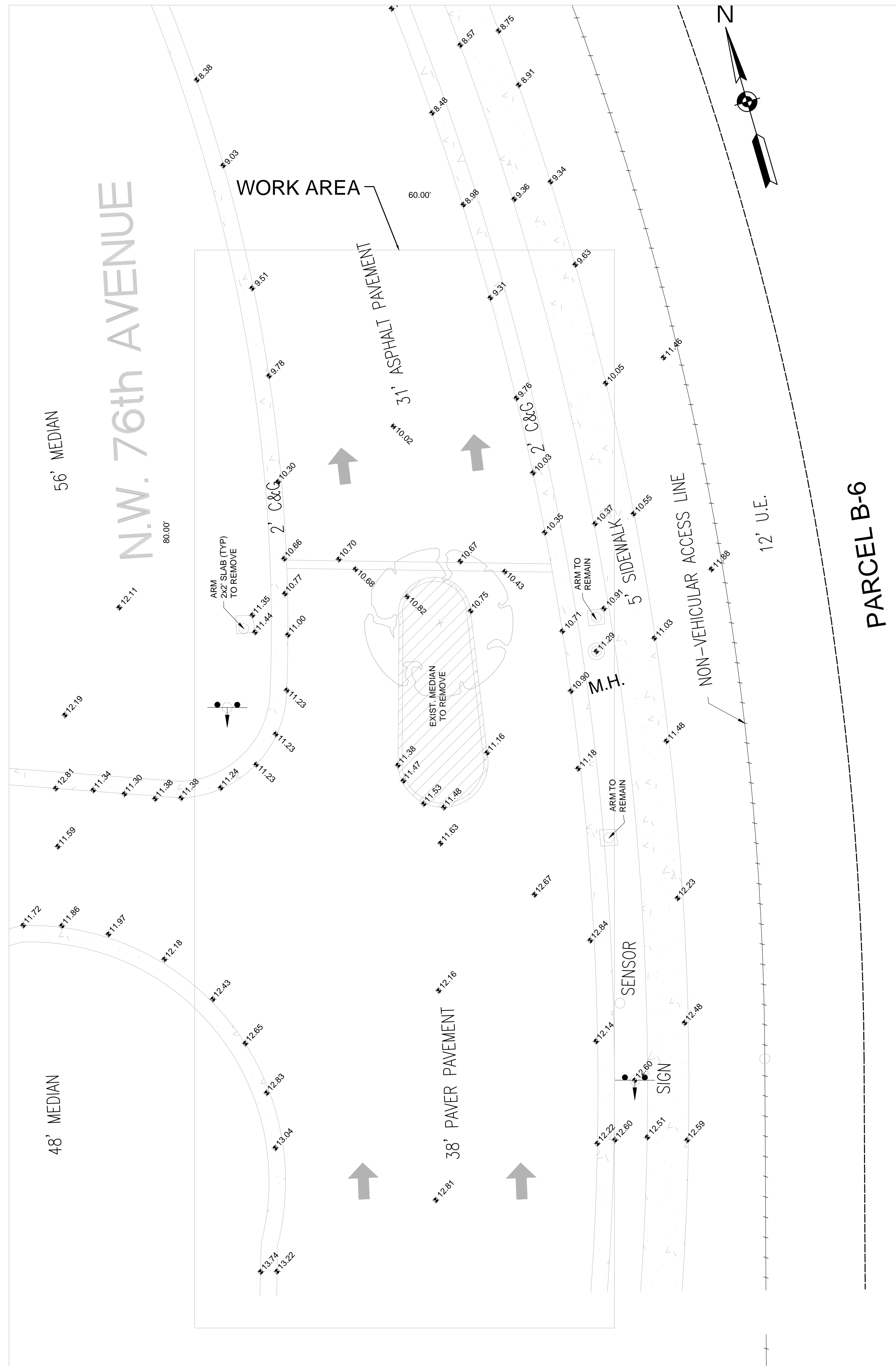
COVER PAGE, SITE WORK & NOTES

JOSE E. POLANCO
P.E. No 76919
14927 SW 142nd CT.
Miami FL 33186
305-282-6757
email:
SEAL

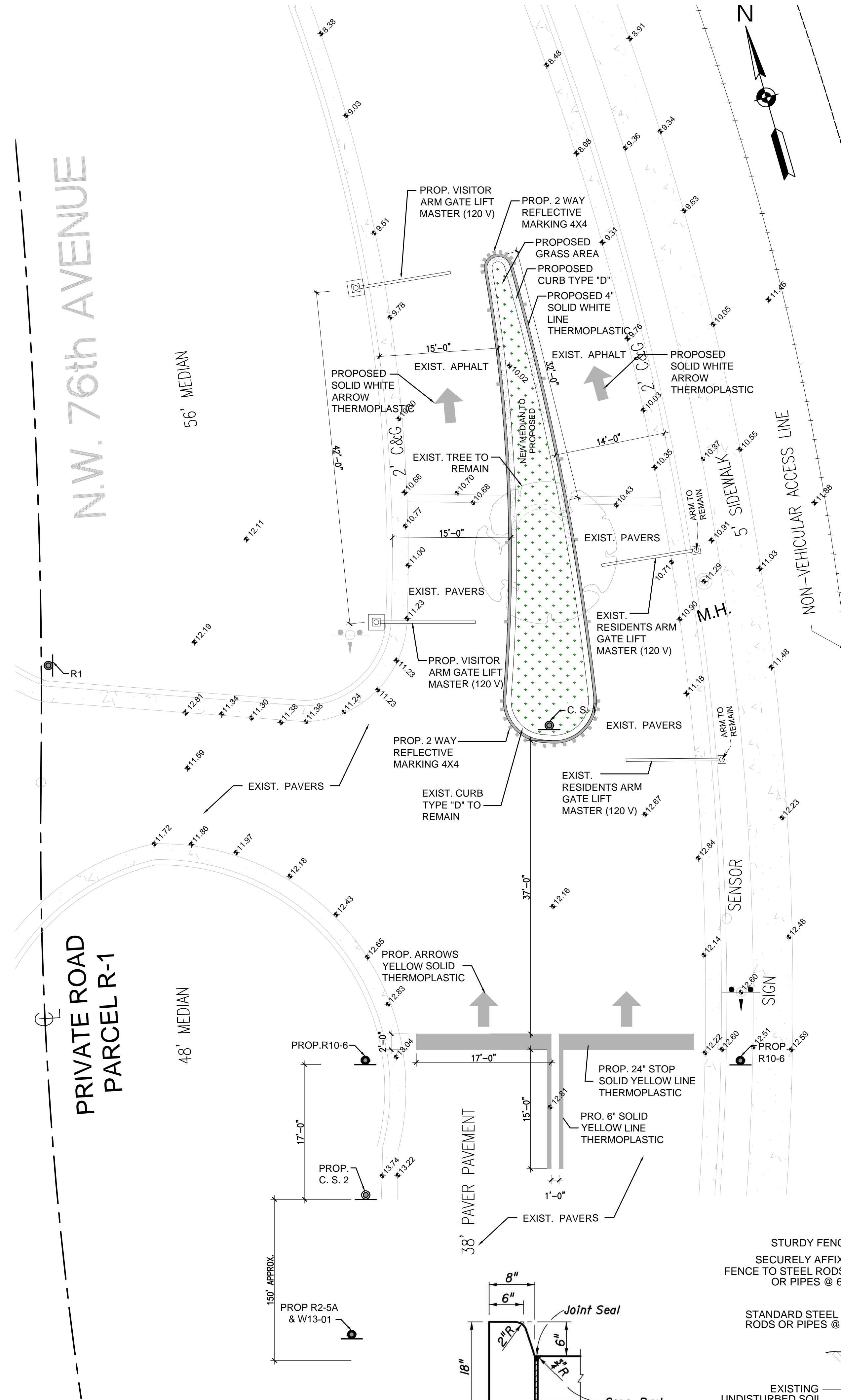
Revisions

No.	Date	Description

Date	04-10-2024
Drawn by	A. A. R.
Scale	AS SHOWN
Job Number	2024.09



EXISTING & DEMOLITION SITE PLAN
SCALE: 1/8" = 1'



PROPOSED SITE WORK
SCALE: 1/8" = 1'

REDUCED SPEED AHEAD

5 M.P.H.

STOP IN GATE TRAP

C. S. 1 PROP. FLASHING SIGN COST.

STOP HERE ON RED

GATE TRAP AHEAD

C. S. 2 PROP. FLASHING SIGN COST.

STOP

EXIST. R1

DIMENSION VARIES PER CRITICAL PROTECTION ZONE

PROTECTION EXIST. TREE

SCALE: N.T.S.

STURDY FENCE

SECURELY AFFIX FENCE TO STEEL RODS OR PIPES @ 6'

1 x 4 MINIMUM STRINGER

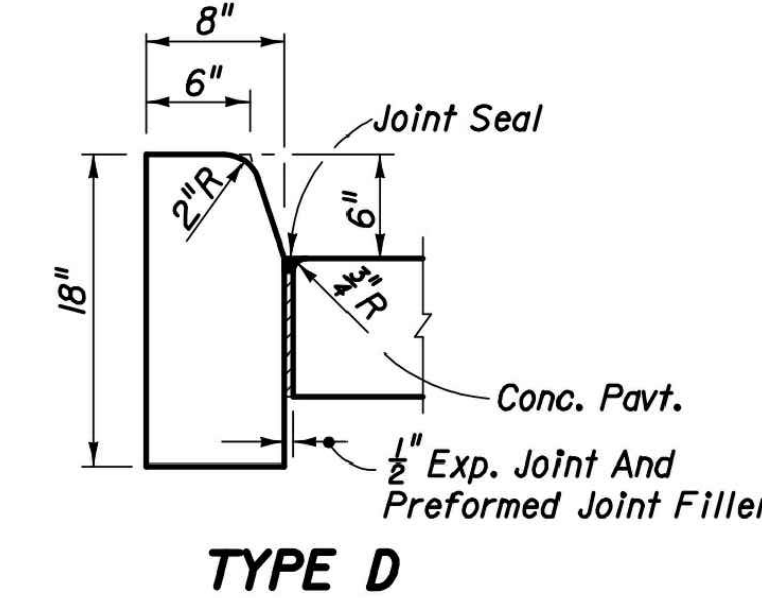
4' MINIMUM HEIGHT

2' MINIMUM DEPTH

EXISTING UNDISTURBED SOIL

SHALL BE SIGNALLED ON THE FENCE.

"NOT ALLOWING STORAGE OF ANY MATERIAL, CHANGE OF GRADE OR MOVEMENT OF EQUIPMENT"



Arking Solutions Inc.

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www.arkingsolutions.com

WALNUT CREEK GATE TRAP

1800 N.W. 76th AVE.
PEMBROKE PINES, FL 33025

EXISTING & PROPOSED FLOOR PLAN

JOSE E. POLANCO

P.E. No 76919
14927 SW 142nd CT.
Miami FL 33186
305-282-6757
email:

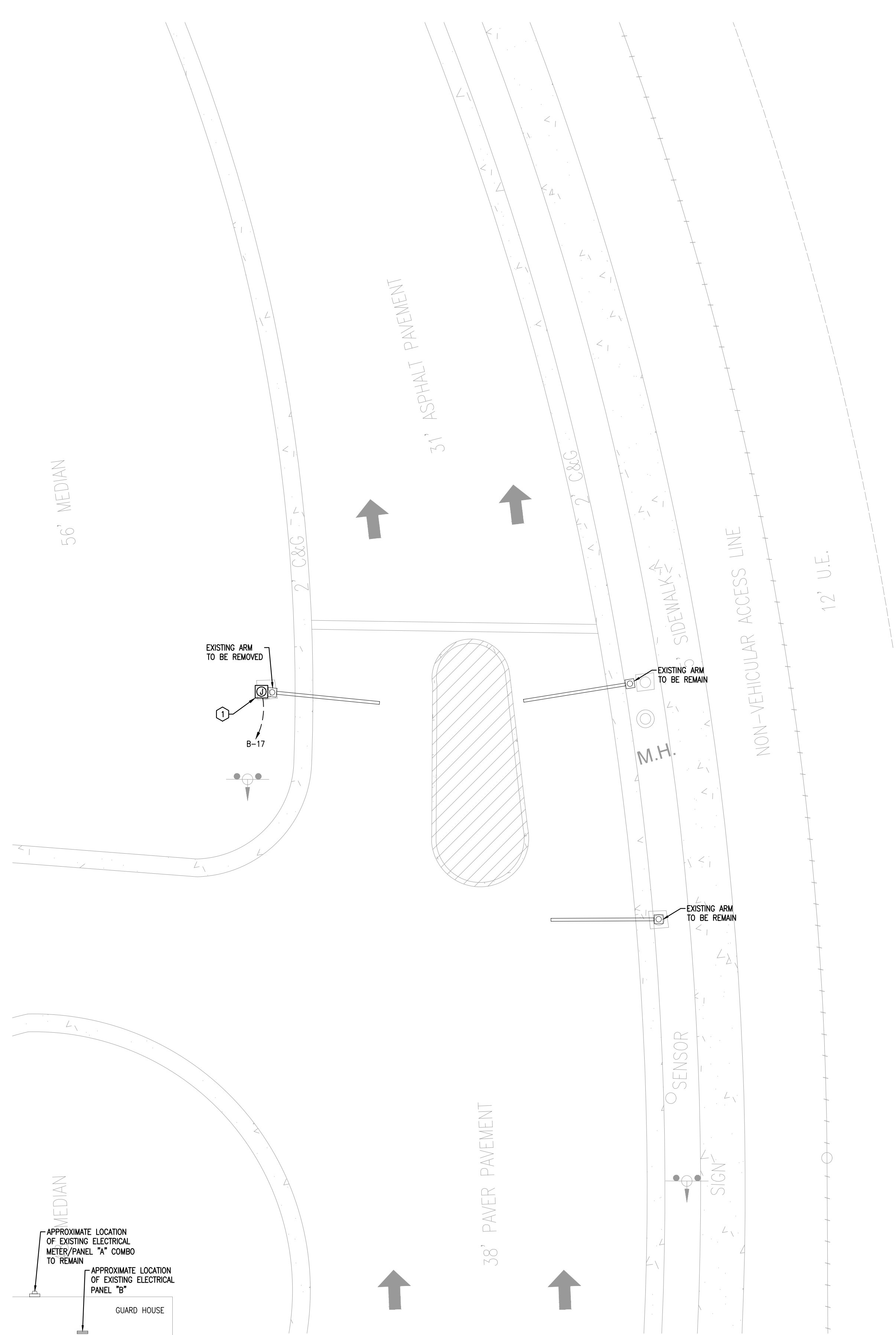
ENGINEER SIGNATURE

THESE DRAWINGS AND DESIGNS ARE THE PROPERTY OF JOSE POLANCO, P.E. AND SHALL NOT BE REPRODUCED WITHOUT HIS WRITTEN CONSENT.

Revisions		
No.	Date	Description

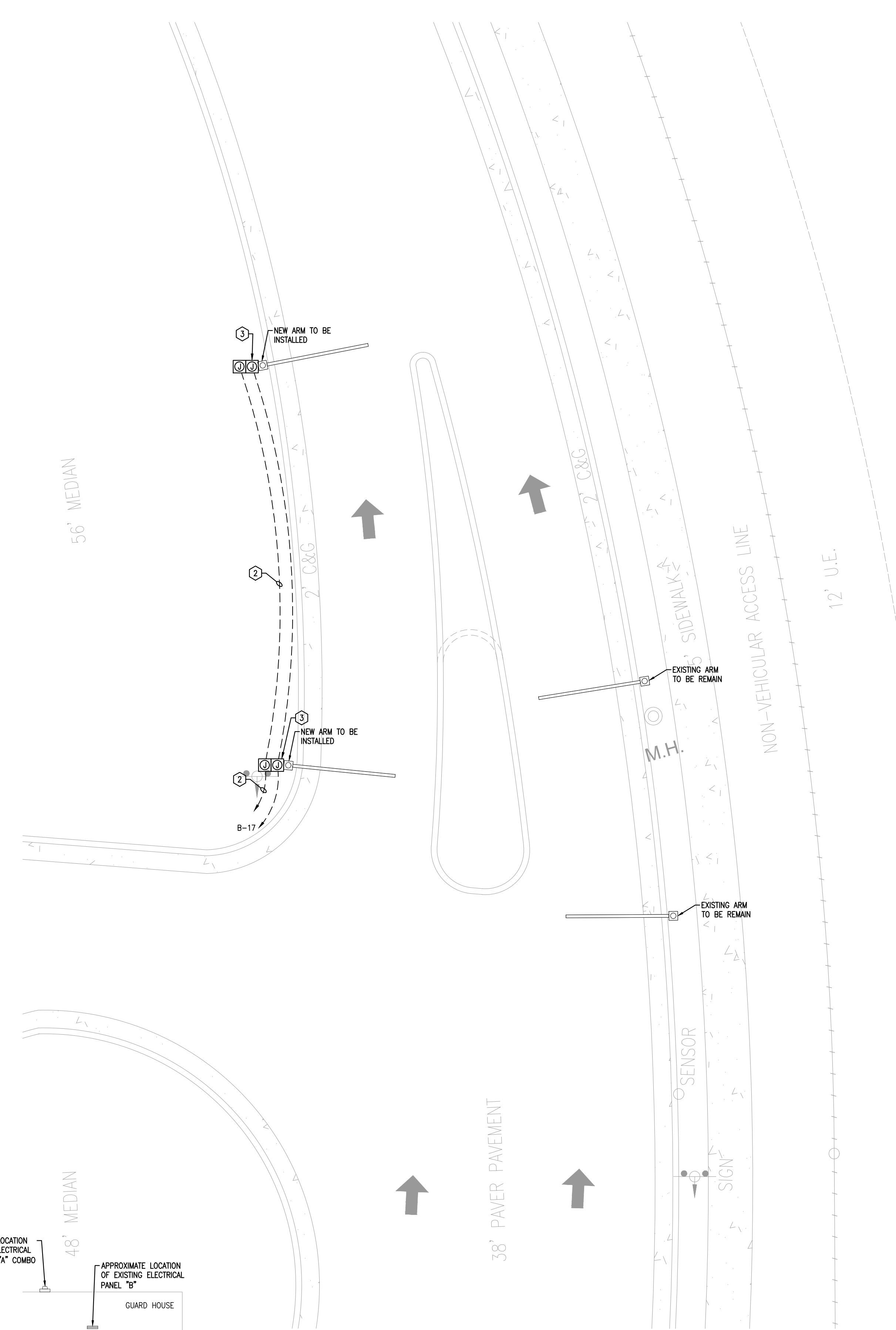
Date	04-10-2024
Drawn by	A. A. R.
Scale	AS SHOWN
Job Number	2024.09
Sheet	C-2

Page 49



EXISTING & DEMOLITION SITE PLAN
SCALE: 1/8" = 1'

- EXISTING CONDITION GENERAL NOTES**
- GENERAL:**
 - EXISTING EQUIPMENT AND DEVICES ARE SHOWN ON PLANS AT APPROXIMATE LOCATION AND BASED ON FIELD OBSERVATION AND/OR EXISTING CONSTRUCTION DOCUMENTS PRIOR TO DEMOLITION. CONTRACTOR MUST INSPECT THE EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BID IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND IN ORDER TO AVOID CONFLICTS. CONTRACTOR SHALL NOTIFY THE ARCHITECT/OWNER ANY DISCREPANCIES, IF ANY, SHALL BE INCLUDED IN THE BASE BID. SIGNING THE CONTRACT IS AN ACKNOWLEDGEMENT THAT THE SITE VISIT HAS BEEN COMPLETED AND THE EXISTING CONDITIONS ARE ACCEPTED.
 - EXISTING CIRCUITRY ON PLANS IS SHOWN FOR REFERENCE ONLY AND BASED ON AVAILABLE CONSTRUCTION DOCUMENTS AND/OR LIMITED SITE OBSERVATION. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THE EXISTING CONDITIONS, INCLUDING THE ACCURACY OF AS-BUILT CIRCUITRY INDICATED ON THE PLANS PRIOR TO SUBMITTING BID.
 - DEMOLISH ANY EXISTING EQUIPMENT, DEVICES, AND LUMINAIRES AS INDICATED AND/OR AS REQUIRED TO ALLOW FOR INSTALLATION AND CONSTRUCTION OF THE NEW WORK. REMOVE ALL EQUIPMENT, DEVICES, LUMINAIRES, CONDUITS, SUPPORTS, HANGERS, ETC. THAT ARE NOT SHOWN AND ARE REQUIRED TO BE REMOVED IN ORDER TO COMPLETE THE NEW WORK.
 - EXISTING CONDUIT: ALL EXISTING CONDUITS AND WIRING THAT WILL NOT BE REUSED SHALL BE REMOVED WHERE THEY WILL BE EXPOSED UPON COMPLETION OF NEW WORK. EXISTING CONDUIT TO REMAIN CONCEALED IN WALLS SHALL BE ABANDONED. EXISTING CONDUIT TO REMAIN BELOW FLOOR SLAB SHALL BE CUT OFF ONE INCH BELOW FLOOR AND GROUDED FLUSH. ALL EXISTING WIRING IN CONDUITS TO BE ABANDONED SHALL BE DISCONNECTED FROM POWER SOURCE AND REMOVED.
 - REPAIR DAMAGE: EXERCISE CARE IN REMOVAL OF DEMOLITION ITEMS. REPAIR, AT NO ADDITIONAL COST TO OWNER, ANY DAMAGE CAUSED TO EXISTING CONSTRUCTION AND/OR EQUIPMENT TO REMAIN.
 - ASSOCIATED APPURTENANCES: REMOVE ALL ELECTRICAL APPURTENANCES (DISCONNECTS, STARTERS, WIRING, CONDUIT, ETC.) ASSOCIATED WITH EQUIPMENT TO BE REMOVED BY OTHERS.
 - KNOCKOUT PLUGS AND COVERS: ALL CONDUIT REMOVED SHALL BE REMOVED IN ITS ENTIRETY, INCLUDING FITTINGS, MOUNTING DEVICES, MOUNTING HARDWARE, ETC. PROVIDE CONDUIT PLUGS AND BLANKS FOR ALL OPENINGS CREATED BY THE REMOVAL OF CONDUIT. PROVIDE BLANK COVER PLATES FOR ALL OPENED OUTLET BOXES CREATED BY THE REMOVAL OF THE EQUIPMENT AND/OR DEVICES.
 - DEMOLISHED MATERIALS: ALL MATERIALS REMOVED UNDER DEMOLITION, NOT TO BE RELOCATED OR DESIGNATED TO BE TURNED OVER TO THE OWNER, SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED COMPLETELY FROM THE SITE.
 - UNDISTURBED AREAS: MAINTAIN AND RESTORE, IF INTERRUPTED, ALL CONDUITS AND CONDUCTORS PASSING THROUGH RENOVATED AREAS AND SERVICING UNDISTURBED AREAS.
 - EXISTING CIRCUITS: IF DURING THE COURSE OF CONSTRUCTION, IT IS DETERMINED BY THE CONTRACTOR THAT AN EXISTING CIRCUIT BECOMES SPARE, THE CONTRACTOR SHALL UPDATE THE PANELBOARD DIRECTORY TO INDICATE SUCH, EVEN IF IT IS NOT EXPLICITLY MARKED ON THE ELECTRICAL PLANS.



PROPOSED SITE PLAN
SCALE: 1/8" = 1'

- ELECTRICAL GENERAL NOTES**
- COORDINATE ALL DEVICE LOCATIONS AND CIRCUIT ROUTING WITH THE OWNER PRIOR TO ROUGH-IN.
 - COORDINATE THE CONNECTIONS OF ALL EQUIPMENT PROVIDED BY OTHERS WITH THE PERSON PROVIDING THE EQUIPMENT PRIOR TO ROUGH-IN. PROVIDE THE APPROPRIATE DISCONNECTING MEANS FOR, AND TO MAKE THE FINAL CONNECTION TO, ANY HARDWIRED EQUIPMENT. THE ELECTRICAL CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE AN APPROPRIATE CORD AND PLUG FOR ANY CORD-AND-PLUG CONNECTED EQUIPMENT THAT IS NOT EQUIPPED WITH AN INTEGRAL CORD AND PLUG.
 - ALL EQUIPMENT AND DEVICES SHALL BE SUITABLE FOR THE ENVIRONMENT IN WHICH THEY ARE INSTALLED. EQUIPMENT MOUNTED OUTDOORS SHALL BE NEMA 3R. DEVICES MOUNTED IN DAMP OR WET LOCATIONS SHALL BE WEATHERPROOF.
 - COORDINATE WITH ALL OTHER TRADES TO PROVIDE ALL CODE-REQUIRED CLEARANCES AROUND ELECTRICAL CONNECTION AND CONTROLS COMPARTMENTS IN ALL EQUIPMENT WHICH IS PROVIDED BY OTHERS AND CONNECTED BY THE ELECTRICAL CONTRACTOR.
 - THROUGH PENETRATIONS AND MEMBRANE PENETRATIONS OF FIRE-RESISTANCE RATED WALL HORIZONTAL ASSEMBLIES SHALL BE PROTECTED BY AN APPROVED UL-LISTED FIRES STOP SYSTEM IN ACCORDANCE WITH F.B.C. CHAPTER 7. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION REGARDING ANY SPECIFIC FIRE STOP SYSTEM TO BE USED IN THIS PROJECT.

- KEYED NOTES**
- DISCONNECT AND REMOVE EXISTING GATE ARM. REMOVE EXISTING CIRCUITRY BACK TO THE THE SOURCE.
 - PROVIDE 1" UNDERGROUND CONDUIT TO GUARD HOUSE FOR LOW VOLTAGE WIRING. COORDINATE FINAL STUB-UP LOCATION WITH OWNER PRIOR TO ROUGH IN.
 - PROVIDE FINAL CONNECTION TO NEW GATE ARM. COORDINATE ALL FINAL REQUIREMENTS WITH MANUFACTURER'S DOCUMENTS AND FINAL LOCATION WITH OWNER. THE REQUIRED DISCONNECTING MEANS SHALL CONSIST OF PADLOCK ACCESSORY ON CIRCUIT BREAKER SERVING GATE ARM BRANCH CIRCUIT TO LOCK CIRCUIT BREAKER IN OPEN (OFF) POSITION.

Arking Solutions Inc.
18266 SW 3rd St, Pembroke Pines FL 33029
305-318-7703 786-547-2844 FAX 954-442-9413
www.arkingsolutions.com

Project: WALNUT CREEK GATE TRAP
1800 NW 76th AVE
PEMBROKE PINES, FL 33025
Sheet Title: ELECTRICAL PLANS

MEP360 Engineering
8400 NW 36th St, Suite 450,
Doral, FL 33166
info@mep360eng.com

SEAL
ADRIAN SANTANA
LICENSE
No. 93072
STATE OF FLORIDA
PROFESSIONAL ENGINEER

ENGINEER SIGNATURE
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ADRIAN SANTANA ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Revisions

No.	Date	Description

Date	06-03-2024
Drawn by	A. S.
Scale	AS SHOWN
Job Number	2024.09
Sheet	E-02

October 14, 2024

Att. Mrs. Gloria Perez
Project Manager.
Special District Services, Inc.

Ref: WALNUT CREEK MAIN ENTRANCE IMPROVEMENT.

ARKING SOLUTIONS INC. is pleased to submit the following proposal to provide the services required for “ADJUST CONTROL ACCESS”

SCOPE OF WORK:

Furnish Labor, Material and Tools.

- Sunshine Utilities Location.
- M.O.T.
- Cut and Remove existing concrete curb.
- Demo existing asphalt for new curb.
- Excavation for new curb.
- Concrete Curb Type “D” 3,000 P.S.I. up to 90 LF
- New Sod and Grass.
- Electrical connections for relocation and new arm barrier.
- Junction box.
- Excavation and Piping.
- New Mega Arm Barrier. (1)
- 12 led red and green 12 foot long. (2)
- Relocation existing Arm Barrier. (1)
- Reinforced Concrete bases. (2)
- Arms Barrier surface sensors. (2)
- Load and haul away construction debris and trash.

THERMOPLASTIC STRIPING

2 Un. 24” Stop Solid Yellow Line
4 Un. Yellow Solid Arrow.
30 LF. 6” Yellow solid Line.



25 Un. RPM (2 Way Reflective Marking 4x4)
150 LF. 4" Solid White Line.

1 Un. Sign R2-5A & W13-01
1 Un. Sign C.S.2 Reflective.
2 Un. R10-6
1 Un. Sing C.S.1 Reflective.
1 Un. R1

Construction \$ 43,850=

PERMIT PROCESS

Process with Pembroke Pines & Public Works Broward County \$ 2,400=

Not Included:

Irrigation Systems.
Asphalt Patching, according Public Works requirements.
Fire devices if is required. (Knox Box)

PAYMENT SCHEDULE:

50% Deposit payment.
40% As per progress work.
10% Final Payment.
Best Regards,

Martha L. Arango

Martha L. Arango
C.G.C.
Construction Manager

Acceptance: _____



The Certified General Contractors Group

Proposal

January 10, 2025

Walnut Creek CDD
Att: Gloria Perez

Project: Walnut Creek Community Main Entrance Modification

The Certified General Contractors Group (CGC) is pleased to offer the following proposal for the scope of work as per a plans. This proposal is good for 30 days. Based upon a walkthrough, we are offering the following scope of work:

Demolition

- Removal and dispose D curb

Landscaping

- Cut down and dispose of tree (Per plans)
- Installation of proposed Sod with +/- 3" top soil (St. Augustine / Bahia)

Earthwork

- Cut down proposed new pavement areas to sub grade
- Install LRB in preparation for new pavement

Pavement

- Installation of new concrete D Curb at 18"
- Install proposed pavers
- Install Gate arm concrete pads

Electrical:

- Installation of new electrical gate arms (Qty. 2) * All materials and fasteners to be provided

Permitting & MOT:

- Submitting of permit documents
- Facilitating of Inspection process
- MOT Included

Price for the above scope only: \$ 47,300.00

Notes:

- PAYMENT- 30 day from last day of completion of the job.
- Any changes to the above scope of work will constitute a revision to the contract price.
- This proposal does not include any As-Built(s), and inspection fees if any.

Thank you for the opportunity to provide this proposal. Please call the number listed below should you have any questions.

- **P.O. Box 561893, Pinecrest, Florida 33256 Office: (305) 898-9760 Fax: (866) 401-0409
Email: jc@cgcontractors.net**

Best Regards,

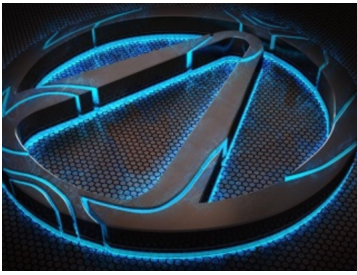
The Certified General Construction Group

Accepted: _____

Date:

Client

- **P.O. Box 561893, Pinecrest, Florida 33256 Office: (305) 898-9760 Fax: (866) 401-0409
Email: jc@cgcontractors.net**



ESTIMATE

ELITE INNOVATIONS & SOLUTIONS LLC
 12426 EMERALD CREEK CT
 PLANTATION, Florida 33325
 United States

BILL TO
WALNUT CREEK CDD

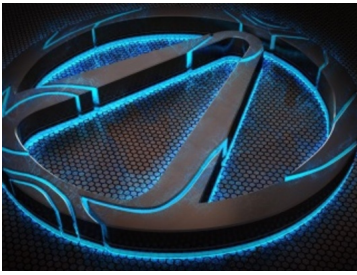
Estimate Number: E- 2814

Estimate Date: January 4, 2025

Valid Until: February 3, 2025

Estimate Total (USD): **\$66,280.00**

Items	Quantity	Price	Amount
SCOPE OF WORK Demolition / disposal of existing concrete D-Curb (195 LF)	1	\$2,850.00	\$2,850.00
SCOPE OF WORK Removal / Disposal of existing tree at exit	1	\$2,850.00	\$2,850.00
SCOPE OF WORK Removal of existing green area to subgrade and installation of limerock base at entrance and exit	1	\$7,850.00	\$7,850.00
SCOPE OF WORK Installation of concrete D-curb (130 LF)	1	\$6,850.00	\$6,850.00
SCOPE OF WORK Installation of new pavers at exit where existing median was	1	\$5,850.00	\$5,850.00
SCOPE OF WORK Installation of new Sod within new entrance gate median	1	\$2,750.00	\$2,750.00
SCOPE OF WORK Installation of electrical gate arms	1	\$29,580.00	\$29,580.00
WIRE & CABLE #4/0 #4 #10 THHN CONDUIT 2' PVC CONDUIT 4" PVC 3/4" PVC SWITCH GEAR 200A PANEL 20A 1-POLE BREAKER GATE ARMS INSTALLATION OF GATE ARMS LABOR AND MATERIALS (* Gate arms not included in proposal to be provided)			
SCOPE OF WORK Installation of concrete pads for new arm gates	2	\$1,850.00	\$3,700.00



ESTIMATE

ELITE INNOVATIONS & SOLUTIONS LLC
12426 EMERALD CREEK CT
PLANTATION, Florida 33325
United States

Items	Quantity	Price	Amount
SCOPE OF WORK Permitting & Document Submittals	1	\$4,000.00	\$4,000.00
		Total:	\$66,280.00
		Estimate Total (USD):	\$66,280.00



Estimate

Date	Estimate #
10/4/2024	2024-1342

Name / Address
WALNUT CREEK CDD 7500 NW 20th St. Pembroke Pines, FL 33024

Ship To

P.O. No.	Terms
	Due on receipt

Description	Qty	Cost	Total
TRAP SYSTEM FOR TAFT VISITOR ENTRANCE THE ESTIMATE INCLUDES THE FOLLOWING: - ELECTRICAL DISCONNECTION AND REMOVAL OF EXISTING GATE OPERATOR - TRENCH AND CONCRETE SLAB FOR EXISTING OPERATOR - ELECTRICAL CONNECTION OF EXISTING GATE OPERATOR - TRENCH AND CONCRETE SLAB FOR NEW GATE OPERATOR - ELECTRICAL CONNECTION FOR NEW OPERATOR - 24 INCH TRENCH FOR CONDUIT FROM EXISTING TO NEW ARM GATE OPERATOR - 24 INCH TRENCH FOR CONDUIT FROM THE GATE OPERATORS TO GUARD HOUSE BREAKER BOX - CONDUITS & JUNCTION BOXES - UNDER GROUND ELECTRICAL AND LOW VOLTAGE WIRING - PAVERS REMOVAL AND REINSTALLATION - 4 GROUND LOOP DETECTORS - 4 LOOP DETECTORS - LOW VOLTAGE WIRING FROM GATE OPERATORS TO GUARD HOUSE CONTROLLER - ELECTRICAL WIRING FROM GATE OPERATORS TO GUARD HOUSE BREAKER BOX - 1 NEW GATE OPERATOR WITH LED ARM - 1 GREEN/RED LED TRAFFIC LIGHT - 6 STOP, REDUCE SPEED, 5MPH, STOP ON RED, STOP IN GATE TRAP, GATE TRAP AHEAD - ELECTRICAL CONNECTIONS AND TERMINATIONS - REVIEW PLANS AND SURVEY (Provided by Customer) - CODES - MEASUREMENTS - CIRCUIT BREAKER MINIMUM REQUIREMENTS - GATE OPERATOR EXACT COORDINATES - SIGNED AND SEALED BY AN ENGINEER - ELECTRICAL PERMIT FEES - FIRE PERMIT FEES - ESTIMATED PERMIT PROCESSING FEES OF UPTO \$1,500.00 - CITY PERMIT FEES NOT INCLUDED	1	40,700.00	40,700.00

Subtotal	\$40,700.00	Sales Tax (7.0%)	\$0.00	Total	\$40,700.00
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Earth Advisors, Inc.

Providing Urban Forestry, Arboriculture, and Landscape Expertise, Consulting, and Management for over 30 years.
Phone: 954 987 1885 Email: eai@earthadvisors.com Website: www.earthadvisors.com

Landscape Audit- Common Areas Landscape Conditions

Report Date: 10/1/24; revised 10/15/24

Inspection Date: 9/31/24

To: Walnut Creek Community Development District
Atn: Gloria Perez, Manager

Project: Landscape Conditions Audit

Summary: Earth Advisors provides Quality Assurance Inspections for landscaping on properties, including audits per any existing Landscape Maintenance Contract for property owners. Having an Audit done by an industry expert with experience and knowledge of maintenance contracts and green industry standards does provide information needed to judge performance of contractors and potential deficiencies and/or damages in the landscape that are not known without that expertise.

These inspections provide observations and recommendations for the Board and Property Manager to gauge the performance of the Landscape Maintenance Contractor. These reports are often shared with the contractor, and provide the contractor with information they can use to better manage the work crews maintaining the property, and correct any work deficiencies observed.

This Audit is to review the landscape conditions at the start of a new landscape maintenance contractor. It was completed on Sept 31, 2024. The main concerns for this Audit are: To evaluate results of past maintenance practices, highlight current conditions for health and any damages, and to gauge the condition of the landscape as the residents experience it.

Results and Recommendations: Many areas of the landscape have not been maintained to average or customary levels for plant health and for sizes (heights and widths). Lawns do not show regular edging for hardscapes and landscape bed shapes. Locations with pest infestations and other locations with nutrient deficiencies were observed. Dead trees, dead palms, dead shrubs, dead ornamentals, and damaged areas of lawns, were all identified in our sample locations. These landscape conditions should have been reported by the prior maintenance company to management, for decisions regarding these damages, areas of overgrown plantings, and areas of missing plantings. Changing maintenance task specifications and adding missing services to the work being done are recommended to help improve landscape conditions and the performance of the new contractor.

Inspection points for this Report include different landscape areas throughout the Common Areas of the community. These are landscape beds, community entrances, guard house areas, roadway corridors, perimeter landscape areas, and perimeter landscape near the club house. Our focus for this inspection was centered on landscape maintenance performance and overall landscape material health, using current Landscape/Green Industry Best Management Practices (BMPs). Observations of landscape conditions are included with photos and captions to best show the current state of landscape conditions.

A separate report will be provided with results of our associated Irrigation Wet Check, which includes 20 sample irrigation zones for operating conditions and settings for watering the landscape in those areas. We expect to be checking sample zones next week, and providing our report in next 2 weeks.

Clubhouse – The first area inspected was the Clubhouse landscape beds including the parking islands and perimeter berm.



Above: Located at crossroads of perimeter berm at Clubhouse – Turf dieback is shown along the sidewalk. Also pictured are mower tracks against the incline. This is typically due to mowing pattern. Following the same pattern each mowing can negatively affect the turf areas over time by causing ruts or tracks. By utilizing alternate mowing patterns or possibly different mowing equipment, this condition can be corrected over time.



Above: A high volume of Dollar weeds and other turf weeds are present. Dollar weeds can be an indicator of excessive wetness, from rains and/or irrigation settings. Weed control as part of past maintenance needs to be reviewed.



Above: Turf in the swale is in poor condition with dieback, weeds and discoloration.



Above: A utility box is in need of edging. Edging of walkways, roads, curbs, sidewalks, hardscape features, landscape beds, tree rings, and utilities is typically required during each mowing service visit. The specifications for mowing, edging, turf weed control, need to be reviewed for what work met or did not meet specifications. The past contract had general services, or tasks, without performance standards for each that can be used to qualify work as complete or incomplete prior to making monthly payments.



Above & Below: Much of the landscape material, shrubs and ornamental plants, is old and overgrown for the landscape beds. A general Useful Life Expectancy (ULE) is 10-15 years in average maintained commercial landscapes (like associations). These Pittosporum show major dieback and decline overall. Replacement of plant material such as this is recommended since no specialty pruning or fertilization can restore plants that have sections that have died.

Locations such as this should have been identified by past contractor for dying plants, and recommendations for removal and replacement, or increased maintenance practices for pruning, fertilization, irrigation, and pest control could have been done prior to the current level of dieback.





Above: The perimeter berm plant material was in decline and showing signs of nutritional deficiencies; The discolored areas of this Philodendron are an indicator of this. Lack of fertilization, irrigation, and pest control are issues from past maintenance.



Above: The perimeter berm of the Clubhouse has plant material that has grown together and is comingled densely. This condition can make proper maintenance more difficult. Thinning out some of the plant material in this area would be beneficial and is recommended. Past maintenance that included greater weeding of beds, pruning and thinning of foliage and shrubs, and maintained size ranges for different types of plants, would have kept this from being the current mixed up plants condition.



Above: Located at Clubhouse parking islands – Perimeter parking hedges are over pruned and sparse in areas. Maintaining the inner edge (Car-side) of these hedges is most important, however, allowing the outer edges (redline) to flush out will add to the overall health and vitality of these plants. There is also a lot of empty space in these beds, needing replacement plantings to improve the property.



Above: There were several irrigation risers that were damaged and leaning sharply- see in red circle. These risers need to be repaired and straightened to provide necessary coverage as designed. Large areas of empty space in these beds we recommend have replacement plantings.



Above & Below: High amounts of trash/litter was present within and around hedges around parking areas.





Above: The Ficus hedge material at the Clubhouse is aged and in poor condition. Narrow spaces need different species choices than in the past. Replacement with another plant type (possibly Podocarpus) is recommended.



Above: Narrow strips of turf near parking areas and other hardscape are hard to maintain. Consider adding sod to widen the lawn to at least standard mower width (24" or wider), or remove these narrow strips and add mulch up to the hard surface. A border of perennial groundcover or dwarf shrubs as a second tier for these landscape beds is an enhancement to consider for community improvements.



Above: Located near the fountain area – landscape liner material has rolled up and looks unsightly. Adding fresh mulch and securing this material will improve the appearance of this high visibility area.



Above: The overall appearance of the playground area was good and showing well. Adding additional mulch would be beneficial.



*Above: A dead Queen Palm located within the perimeter berm of the Clubhouse area. **THERE ARE MULTIPLE DEAD PALMS, DEAD TREES, AND OTHER DEAD PLANTS, WE OBSERVED IN COMMON AREAS. THESE ALL SHOULD HAVE BEEN IDENTIFIED AND LISTED FOR REMOVAL BY PRIOR CONTRACTOR.***

A separate Arborist Report can be provided to facilitate removal.

South Entrance – The second area inspected was the South Entrance and Guardhouse landscape beds. This area includes NW 20th Street (Near Lake) to Taft Street.



Above: Landscape beds in this area were in fair condition and showed well. The addition of mulch would be beneficial, and edging of lawns is recommended to define and shape the landscape bed perimeters, and reduce weeds encroaching into the beds.



Above: There are signs of dieback for lawns along the lake edges, most likely due to string line trimmers cutting grass too short. Care must be taken not to scalp the turf in these areas.



Above: A dead Japanese Fern tree is located near the lake. A separate Arborist Report can be provided to facilitate removal.



Above: Located along NW 76th St. Turf in this area was approx. 3" to 4" in maintained height and had a low presence of turf weeds. The sidewalks and curbs and poles are in need of edging. Edging for the landscape beds and tree rings is also needed.



Above & Below: A light pole is in need of Clearance Pruning. The sidewalks and curbs and poles are in need of edging. Edging for the landscape beds and tree rings is also needed.





Above: Royal Palms near the Guard house have a high number of dead/hanging fronds. These fronds will fall over the sidewalk and or street. A potential solution may be attaching banding around the crown shaft to prevent fronds from falling on targets below, between scheduled pruning dates.. These bands will need to be serviced every 6 months to a year.



Above: Wires are shown running above ground and within the perimeter hedge. These wires can cause conflict with maintenance operations.

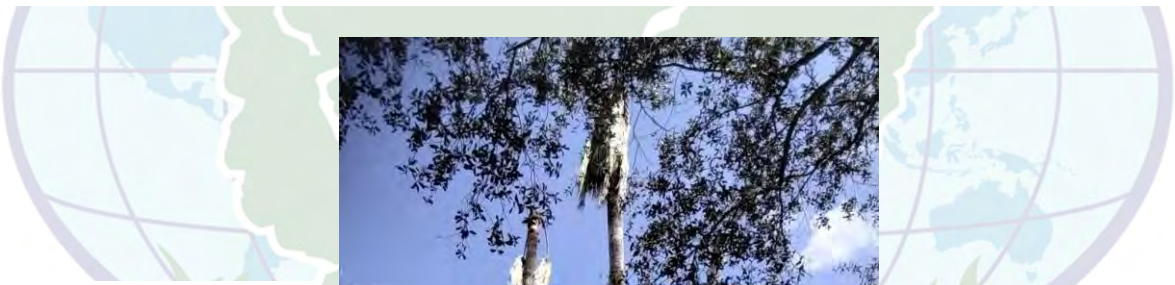


Above and Below: Utility boxes are overtaken by turf. There is a lack of lawn edging on numerous features and utilities throughout the community.





Above: A, irrigation box is overtaken by turf due to lack of edging practices.



*Right: A group of 3 dead Washingtonia Palms are located in the center median. **THESE ARE HAZARDS FOR THE ROADWAYS.***

A separate Arborist Report can be provided to facilitate removal.





Above: Located on Southbound NW 76th Ave. A badly decayed and hollow Royal Palm trunk is shown. A separate Arborist Report can be provided to facilitate removal.



*Above: Located in the center median near the Guard house – A dead Washingtonia Palm. **THIS IS A HAZARD FOR ROADWAY CORRIDOR.***

A separate Arborist Report can be provided to facilitate removal.

Community Entrances & ROW's – These areas include NW 20th St. & NW 76th Ave.



Above: Located along NW 20th St. – Narrow strips of turf are hard to maintain successfully. The walkway, road edge, and landscape bed are in need of edging.



Above: Located along NW 20th St. – A Ficus hedge is showing signs of dieback likely caused by Whitefly infestation. Pest control is a necessary maintenance task for any landscape.

A pest scouting report is recommended to be performed by the Contractor with treatment based on the results.



Above & Below: A Community marquee landscape bed is showing poorly with dead plant material, lack of mulch, and needing edging. These are focal points of the community, and should be much better maintained, containing healthy landscape plants. Replacement plantings are needed, and a more modern Landscape Design can be produced for these areas.





Above: Missing plants and an unbalanced landscape bed is shown at this Marquee. New plant material and design are recommended to improve appearance.



Above: A landscape bed contains a high level of weeds, missing plants, lack of mulch and edging.



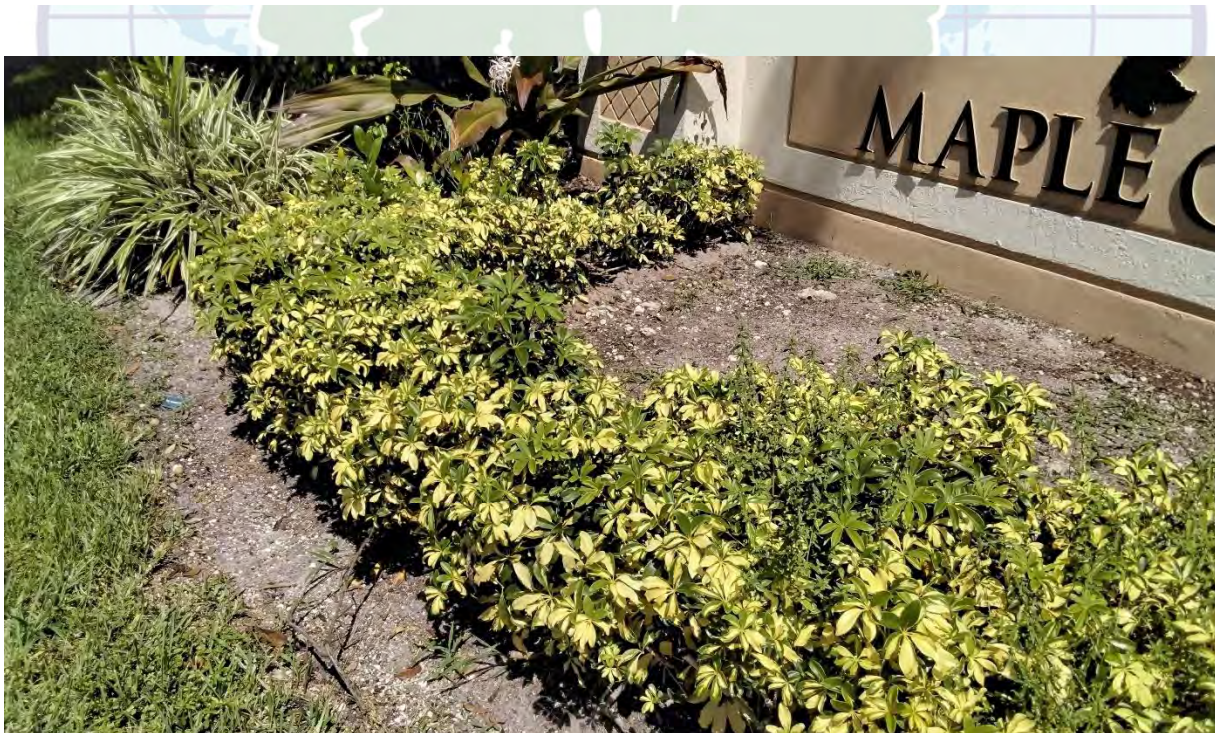
Above: A lake edge is showing well with a low presence of turf weeds. The turf height is a maintained 3”to 4” height.



Above: Located along NW 76th Ave. – Canopy trees have been maintained at an acceptable height above roadways to allow for service vehicles required access. Hedge is trimmed tightly, with thin layer of live foliage. Rejuvenation pruning can help thicken foliage depth.



Above & Below: Missing plants across sign front, weeds, and an unbalanced bed are shown. New plant material and design would improve this area's appearance.





Above & Below: A high volume of weeds, dead plant material, missing plant material, are observed. Attention is needed for these areas. New plant material and design are recommended.





Above & Below: Marquee landscape beds are showing poorly. Weeds, missing plant material, lack of mulch and edging are observed. New plant material and design are recommended. Dry conditions cause need to check irrigation settings in these areas.





Above & Below: Stumps remain at the base of this marquee, that is missing landscape plantings. New plants and design are recommended.





Above: Bougainvillea is growing well and is in good health. Trimming for clearance is recommended to keep plants within curb edges.



Above: Located along NW 20th St. – A Ficus hedge is showing signs of dieback most likely caused by Whitefly infestation. A pest scouting report provided by the maintenance Contractor is recommended with treatment based on results. Old and overgrown hedges are more susceptible to pest infestations.



Above: Located along NW 20th St. – An irrigation box has been overtaken by turf. Edging is required to assure location, maintenance and proper function.

North Entrance and Guard house -



Above: A center median on NW 76th St near the guard house is showing poorly. Missing plants, and excessive weeds are observed.



Above: Wires are shown running above ground and within the perimeter hedge. These wires can cause conflict with maintenance operations. Open areas in beds missing plants.



Above: Located at the North Entrance guard house – Hedges are recently trimmed, healthy and showing well.



Above: Located along NW 76th Ave. near the guard house. A hedge is growing over and onto the walkway. Pruning enough to provide ADA clearance will remove majority of foliage and branches. This hedge is in poor location next to the walkway, was not planted with adequate growing space, and now is pedestrian hazard. Removal is recommended, with groundcover or small maturing shrubs as replacement for first tier border between sidewalk and Ficus hedge..



END OF REPORT

We look forward to continuing working with you for a better shared environment

In Support,

John A. Harris, Landscape Economist; MS, MBA, BS, AAS

ASCA RCA #468
Registered Consulting Arborist®

Certified Arborist #OH-0274A, Certified Forester, Registered Consulting Arborist, Certified Landscape Inspector, Qualified Tree Risk Assessor, Professional Mangrove Trimmer, Nursery Tree Grader, Tree and Plant Appraisal Qualified

Item #	Address Num	Address Street	Common Name	Scientific Name	Ht in Feet	dbh in Inches	CRZ Radius in Feet	TPZ & Cnpy Radius in Ft	Cnpy Area in Sq Ft	Health Cndtn	Observations	MTC1	Comments	Disposition by Client
1	2110	Northwest 75th Way	Queen Palm	<i>Syagrus romanzoffiana</i>	25	10	4	0	0	0	Disease damaging plant, Wildlife holes and/or damage in trunk	X1- High Risk Removal		
2	7625	Northwest 19th Court	Japanese Fern	<i>Filicium decipiens</i>	15	4	2	7.5	177	10	Dieback or decline overall, Leaders Codominant, Leaning trunk/stem, Roots pot bound (to size of nursery container)	X2 Recommended Removal		
3	1800	Northwest 76th Avenue	Mexican Fan Palm	<i>Washingtonia robusta</i>	40	11	4	0	0	0		X1- High Risk Removal		
4	1800	Northwest 76th Avenue	Mexican Fan Palm	<i>Washingtonia robusta</i>	40	13	5	0	0	0		X1- High Risk Removal		
5	1800	Northwest 76th Avenue	Mexican Fan Palm	<i>Washingtonia robusta</i>	40	15	6	0	0	0		X1- High Risk Removal		
6	1744	Northwest 75th Way	Royal Palm, Cuban	<i>Roystonea regia</i>	40	18	7	10	314	35	Dieback or decline overall, Trunk damage- Wound or cut >4"	X1- High Risk Removal	Decay in trunk, hollow	
7	1800	Northwest 76th Avenue	Mexican Fan Palm	<i>Washingtonia robusta</i>	45	9	4	0	0	0	Wildlife holes and/or damage in trunk	X1- High Risk Removal		
8	7855	Northwest 19th Court	Ligustrum	<i>Ligustrum japonicum</i>	20	14	6	7.5	177	0	Leaders Codominant	X1- High Risk Removal		



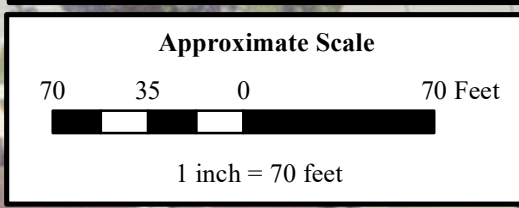
Walnut Creek CDD
2024 Landscape Audit Trees
DRAFT - Not for distribution

This document is the property of:
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 www.earthadvisors.com
 eai@earthadvisors.com

Drawn by: CCB	Revision Number: 1.00/00/00
Date: 10/03/24	
Approved by: JAH	Aerial Source / Date: Broward County
Date: 00/00/00	Dec 22, 2020
Voice: (954) 987-1885 Fax: (954) 987-1898 Toll Free: (800) 545-6554	

Legend

	Landscape Inspection Area (8)
	Common Area
	Walnut Creek CDD Property Line



Earth Advisors, Inc.

Providing Urban Forestry, Arboriculture, and Landscape Expertise, Consulting, and Management for over 30 years.
Phone: 954 987 1885 Email: eai@earthadvisors.com Website: www.earthadvisors.com

Landscape Audit- Common Areas Irrigation System

Report Date: 11/5/24; updated 11/19/24

Inspection Date: 11/4/24

To: Walnut Creek Community Development District

Atn: Gloria Perez, Manager

Project: Landscape Audit- Irrigation System Wet Check (Sampling of Zones)

Summary: Earth Advisors provides Quality Assurance Inspections for Landscape Maintenance Contracts for property owners, property managers, contractors, and government agencies. Having an Audit done by an industry expert with experience and knowledge of maintenance contracts and green industry standards provides information needed to judge performance of contractors, identify actual and potential deficiencies and/or damages in the landscape, and recommendations for actions to repair or replace damaged and missing landscape plants and areas. Many of our Audit projects include inspecting, doing a Wet Check (observing specific irrigation zones and valves and control clocks and pump stations to report about their operating status and conditions), because irrigation is a necessary for health and growth of landscape plants in our region.

These inspections provide observations and recommendations for the Board and Property Manager to gauge the performance of the Landscape Maintenance Contractor. These reports are often shared with the contractor and provide the contractor with information they can use to better manage the work crews maintaining the property.

This Report is regarding the results of our Wet Check, Irrigation Audit, for the community. We met with Greener Image's Irrigation Technician, Juan, and inspected a sample set of irrigation zones, control clocks, and the main pump station. There are significant damages and reasons for the lack of irrigation across the community that we observed. Getting irrigation to be operating for zones across the Common Areas is not simply doing replacement or repairs of irrigation heads or leaking pipes and valves.

Results and Recommendations:

The following observations and images are provided to illustrate the condition of the irrigation system for the locations chosen as sample or example parts of the overall system. Inspection locations were chosen to include Common Areas and a few residential zones, to provide examples of the irrigation system in these separate parts of the community. Choices of sample locations were made with input from Greener Image staff, so that the main reasons for irrigation being deficient for your community were included in our work. Observations are included along with photos and captions to best show the current state of irrigation conditions.

Main Issue to Resolve: We were not able to observe much of the operating status for the irrigation system in Common Areas, zone by zone throughout the community, BECAUSE THE MAIN PUMP STATION HAS DAMAGES THAT NEED REPAIR, AND HAS BEEN IN THIS CONDITION FOR AN UNKNOWN PERIOD OF TIME (AT LEAST LONGER THAN THE CURRENT GREENER IMAGE CONTRACT, AND POSSIBLY MORE THAN A YEAR).

The zones we were able to operate with the Irrigation Technician from Greener Image were for around the Clubhouse and main road, and for example locations of irrigation zones within neighborhoods for residences.

There is much variability for the 160 (current estimated total) irrigation zones that are part of the overall irrigation system for Walnut Creek community. Zones that do not turn on from different irrigation control clocks, zone valves that are not operating, and then damages to pipes and/or heads within zones, all exist. These conditions pre-date the Greener Image contract, and reviewing what irrigation maintenance and repairs were included for Wolfer and other prior landscape maintenance contractors would be a next step in review of why the irrigation system has so many parts of it damaged and inoperable at this time.

Having major damages to resolve starting with the main pump station, and then repairs needed from that starting point through locations of main lines to controller clocks to zones lines to valves to heads, shows that maintenance of this irrigation system overall has been deficient for a period of time. Some of the conditions of zones appear to have been not operating for at least a year and maybe longer.

There is a need for an overall Irrigation System Map, or at least a sketch, showing locations of the major components of the system, that would usually include: Pump stations, controller clocks, valves, zone areas, and sometimes heads within zones. Not having the as built Irrigation Plan that should be in your records for the irrigation system layout and design, leaves any new contractor without a reference for both checking each part of the system, and recording their observations and results for repairs as they are identified and as they are completed.



Above: Main Pump Station, located near the Clubhouse – Hoover pumps are located here. During the initial inspection when Greener Image started work, and still at this time, these pumps need repair and not functioning adequately to run large areas of the irrigation system zones. These main pumps are IN NEED OF REPAIR immediately. Contacting the manufacturer (Hoover) is required to resolve numerous operating issues. This appears to have been a preexisting condition dating back to the previous Contractor. A working rain sensor is also needed here, per water management standards.



Above: Located at Clubhouse and Playground area – This is Zone 4 on the location clock. A mix of Rotors and Pop-up heads are utilized well here. There are some elevation changes and slopes here. Turf was consistent from high to low areas. Adequate pressure and coverage were observed.



Above: Located at Clubhouse near Porte-cochere – This is Zone 4 on the location cock. A dry sidewalk is observed during operation. Pop-up heads are utilized in this area. Adequate pressure and coverage were observed for this high visibility area of the property.



Above: Located at Clubhouse near south Porta-cochere – This area was Zone 6 on the location clock. A mix of Risers, Bubblers and Pop-ups are utilized in this area. Good coverage was observed as the 90's, 45's and 180's (riser nozzles) were well placed and adjusted for the landscape material. A dry road is also observed during operation, showing maintenance of the heads and settings.



Above: Zone 6 at Clubhouse – A bubbler is in operation at the base of a Palm. As suggested by the Technician, this bubbler was to be capped as it was redundant within the landscape and was not necessary. There is adequate coverage by spray heads..



Above: Located at Clubhouse parking/entrance – This is Zone 7 on the Location Clock. An area of low coverage is observed here. This is attributed to several breaks/damaged heads/damaged risers in the area. These areas were pointed out by the irrigation tech and are in line for repairs to be performed. Having multiple breaks within a zone is the likely cause for the poor coverage due to LOW water pressure.



Above: Located at Clubhouse parking – This is Zone 7 on the location clock. One of several line breaks is shown. The impact of tree roots growing into and around pipes, causing damages in this area, is a consistent issue for Risers and Pop-ups in this zone. This is an example of damages that exist in other locations where irrigation and tree roots conflict all across the property.

Parking and foot traffic on the parking islands is also a contributing factor to frequent breaks and issues in this zone. The result is low pressure and diminished coverage. Repairs are being performed.

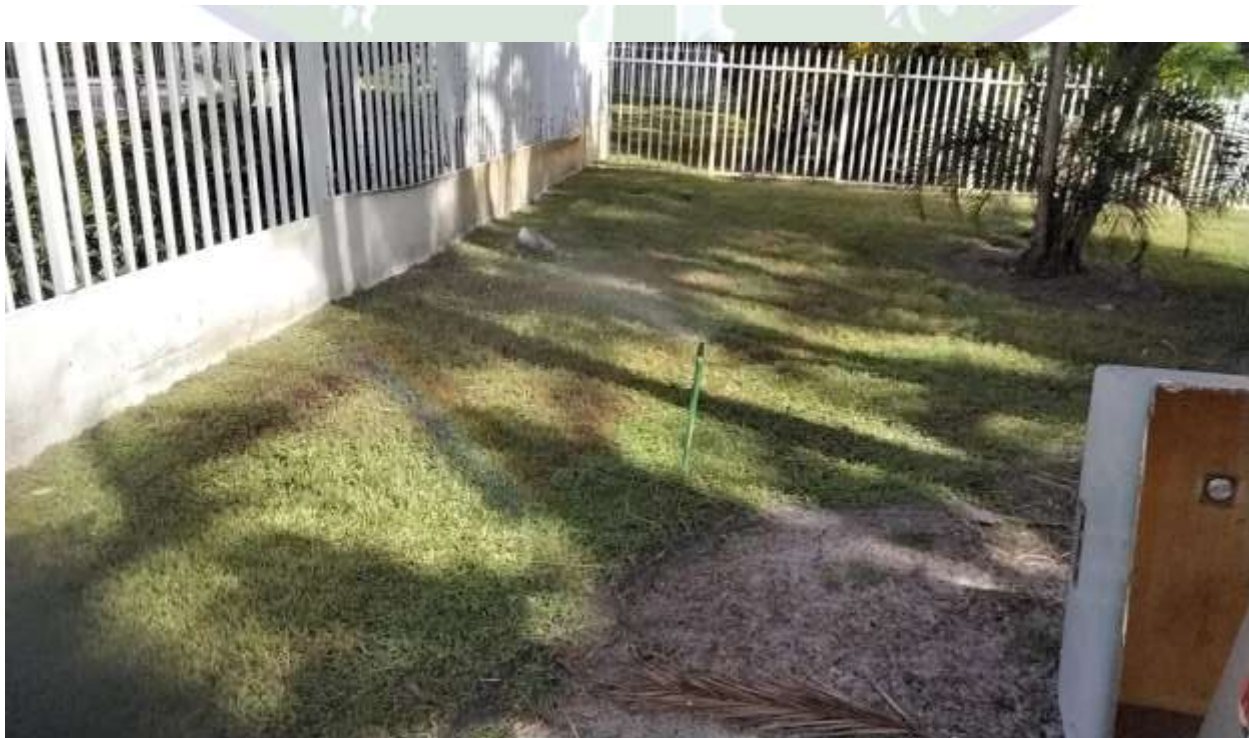


Above & Below: Located along the outer perimeter of the Clubhouse parking at the corner of NW 20th St & N74th Way – This is Zone 8 on the location clock. Rotors are shown along the sidewalk. Pressure was improved in this area and coverage was good.





Above: Located near Clubhouse exit along NW 20th St – This is Zone 9 on the location clock. A mix of Rotors, Pop-ups and Risers are shown. Good pressure and coverage is displayed next to a dry street.



Above: Located near Main Pump station – This is Zone 1 on the location clock. Risers are in use here. There was one broken head near the pool area that is to be repaired.



Above: Located along the perimeter of the Clubhouse – This is Zone 2 on the location clock. A riser is shown distributing water through a 45deg spray head and is well adjusted to the landscape bed. Pressure is good; however, one break was present and will be repaired.



Above: Located near 7935 NW 20th St. A residential irrigation zone is shown. Mostly Risers and Pop-ups are present. This is Zone 2 on the location clock. There is some adjustment needed in these areas as risers are leaning and some irrigation valve boxes need edging. Pressure is adequate in this location.



Above: Located near 7981 NW 20th St - This is Zone 4 (a residential Zone) on the location clock. A broken head is shown. Tree root intrusion as well as pedestrian traffic/parking can be a continual cause of broken equipment.

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*Above: Located near 7981 NW 20th St - This is Zone 4 (a residential Zone) on the location clock. A valve box is shown. Tree root intrusion as well as pedestrian traffic/parking can be a continual cause of broken equipment. Edging of these utility/valve boxes is a usual landscape maintenance task to assure accessibility and functionality. **Check what edging for lawn areas and landscape beds is included in Greener Image Contract.***



Above: Located in common area along NW 20th St. This is Zone 11. Rotors and Pop-ups are utilized here. Good pressure and overlapping coverage are observed.



Above: Located within common area and along canal near NW78th Way. This is Zone 28 on the location clock. This is a large zone that utilizes rotors. Pressure is adequate and coverage is overlapping.



Above: Located Near entrance of Maple Glenn – This is Zone 1 on the location clock. Pop-ups and Risers are utilized in this residential zone. Tree roots have caused some risers to lean and will need adjustment from time to time. Pop-ups in this area may get damages from car tires and will require repair as needed.



Above: Located within Mahogany Bend Community near 7390 NW 17th Ct. This is Zone 20 on the location clock. Pop-ups and Risers are utilized. Coverage and pressure are adequate. Utility/Valve boxes are in need of edging.

END OF REPORT

We look forward to continuing working with you for a better shared environment.
In Support,

John A. Harris, Landscape Economist; MS, MBA, BS, AAS

Certified Arborist #OH-0274A, Certified Forester, Registered Consulting Arborist, Certified Landscape Inspector,
Qualified Tree Risk Assessor, Professional Mangrove Trimmer, Nursery Tree Grader, Tree and Plant Appraisal Qualified

ASCA/RCA #468
Registered Consulting Arborist*



Earth Advisors, Inc.

Providing Urban Forestry, Arboriculture, and Landscape Expertise, Consulting, and Management for over 30 years.

Phone: 954 987 1885 Email: eai@earthadvisors.com Website: www.earthadvisors.com

Irrigation System Audit- Wet Test and Mapping Irrigation Components

Date: 11/25/24; revised 01/08/25

Client: Walnut Creek Community Development District, Gloria Perez, District Manager

c/o Special District Services, Inc.

8785 SW 165 Avenue, Suite 200

Miami, FL 33193

Gloria; 786 347 2726

Project: Walnut Creek Community- Irrigation System West Test and Mapping- CDD and HOA property areas

Services to be Provided:

<p>This Proposal is for Earth Advisors to provide Landscape, Arboricultural, Irrigation, and Environmental Consulting to complete the listed Scope of Services within common areas of property named. This project is to provide documentation for irrigation system components listed</p> <p>We reviewed the site and are prepared to start work according to the following specifications. The recommendations we provide will continue to help you to control costs, assure that the contracted work is 100% performed, and provide a third-party independent assessment of the performance for your landscape work. We utilize and teach Best Management Practices in these types of projects.</p> <p>Client to provide at start of work (as available): Landscape Plan(s), Irrigation Plan(s), Vendor Contracts, Maintenance Specifications, As Built Plans, and/or Site Plan(s) for our use in this project.</p>	<p>Principal Rate: \$195/hour</p> <p>Professional Rate: \$150/hour</p> <p>Associate Rate: \$125/hour</p>
<p>Scope of Services:</p> <p>1. Irrigation System West Test and Mapping: We will produce an Irrigation System Map showing ONLY THE LOCATIONS OF ZONE VALVES, CONTROLLERS AND CONTROL CLOCKS, PUMP STATIONS AND PUMPS (not all irrigation heads). This will be done using our GPS equipment with a usual location accuracy of +/- 3-5 feet.</p> <p>This includes an itemized Irrigation Components Locations Worksheet, listing valves, controllers, and pump stations, with condition observations and recommendations for the irrigation system.</p> <p>We do not include the time to trace any wire breaks or investigate the causes for any system break or damage within zones. This follow up investigative work can be provided additionally (decision to be made by Client).</p> <p>We do not include the time to list and take locations for all irrigation heads in all zones (likely 10-25 heads per zone), and can add that work up request of Client.</p> <p>We do include testing each zone where the zone valve is operating, to observe the irrigation heads for damages needing repairs, adjustments for coverage, and how many are operating as planned/designed for coverage of landscape areas.</p> <p>There are +/-160 irrigation zone valves with +/- 308 zones (some zone valves are connected to more than 1 zone) and 3 pump stations (at lakes for water intake for irrigation system) to be inventoried and included for this project.</p> <p>A. Phase 1- Research and investigation to locate pump stations, controller and control clocks, and zone valves.</p> <p>There is no current Irrigation System Map or reference documents showing approximate locations for the components of the system. Finding all the zone valves is a time consuming process that starts with locating and inventory of the pump stations and controllers, then turning on each zone at each controller and finding where that zone is operating on the property, so we can find each zone valve. This work cannot be estimated accurately, so we are including an</p>	<p>Pricing:</p> <p>1. A. Phase 1- \$10,780 Price includes 5 days for locating and GPS field mapping, and 0.5 days for producing Locations Map and Worksheet.</p> <p>Time for Irrigation Technician from Turf Management (who has +/- 20 years of experience with this irrigation system) is \$650/day * 5 days= \$3,250, AND IS INCLUDED IN THIS PRICE (as subconsultant for Earth Advisors, paid by Earth Advisors)</p>

<p>initial 5 days of field work as Phase 1. At completion of field work, we will then provide results of this work, and be able to better estimate what remaining time is needed to locate and inventory the remaining zone valves for the total irrigation system of this property, including Wet Test to observe the irrigation heads operating for all zones that have operating valves (cannot observe heads operating if no water gets to a valve and then through a valve to each head in each zone).</p> <p>B. Phase 2- Continuing research and investigation for remaining zone valves not located in Phase 1. Time and price to be determined at end of Phase 1 work.</p> <p>2. Additional consulting, site visits and meetings as requested by Client. Each additional task/project request (i.e.: Complete inventory of landscape, assessment of wetlands and natural areas conditions, inventory of irrigation zone heads and settings, remediation work inspections, etc.) will be tracked as additional tasks to assist with record keeping of work done.</p>	<p>1. B. \$TBD Price to be estimated based on zones that remain to be found and mapped after finish of Phase 1.</p> <p>2. Billed at listed rates for requests of additional work from Client.</p>
<p>Billing is for all project related time (field work, report and exhibits production, meetings, travel time). Travel costs are only billed when project is more than 2 hours drive from our local office. Invoicing is done bi-weekly or monthly with work description for tasks completed. Deposit credited within final invoice. NO WORK IS SCHEDULED WITHOUT PRE-APPROVAL BY CLIENT FOR EACH TASK.</p>	<p>Billing is for actual hours and costs expended; not set price.</p>
<p>Deposit Amount: Payment is preferred via ACH or Wire (account provided upon request). You can also mail checks to: Earth Advisors, 5861 SW 13 Street, Plantation, FL 33317</p>	<p>\$5,390 Phase 1 Total Price = \$10,780</p>
<p>Item 2 (Optional)- Tasks approved by Client are billed at listed rates for any meetings, reviews, documents, and other tasks/work requested.</p>	

Earth Advisors is staffed by professional Urban Foresters, Arborists, Horticulturists, and Landscape Inspectors. We utilize associates with expertise in their fields to provide the most accurate, efficient and useful information available to clients. We stand behind our work and can additionally answer any questions or fulfill needs for additional information or services. Client is responsible for timely payment. Any billing over 30 days past due will be charged 1.5 percent interest per month up to date of payment. All reasonable collection costs, legal fees and court costs to gain payment are payable by client to Earth Advisors.

Signature below accepts this proposal and authorizes work as stated.

In Support,
For Earth Advisors, Inc.

Accepted by,
For Client

John A. Harris, President

Client or Authorized Representative

Earth Advisors, Inc.

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(800)545-6554

eai@earthadvisors.com



Earth Advisors staff work with homeowner associations, condominiums, property managers, cities, agencies, and businesses to improve our shared environment.



Landscape Health and Condition Evaluations™-

For landscapes, trees, groves, and forests we provide itemized maintenance plans, inventory, and budgets for annual maintenance work. These are site specific to your needs and budget.

Sustainable Landscape Design Services-

Evaluation, planning, and/or designing SUSTAINABLE landscapes for the properties you manage. Earth Advisors will utilize waterwise and SUSTAINABLE landscape principles to produce a valuable landscape maintained within a budget.

Bid Management-

Production of performance based contract documents to use for competitively bidding projects, and work performance inspections to ensure the proper results.

Project Management-

Use our Quality Assurance Inspections to verify and control maintenance costs for common area landscapes, Residential landscapes, park landscapes, commercial landscapes, and golf courses.

GIS and Location Mapping-

We have the ability to add this facet to any of the above for submeter accuracy in your projects. Our full color maps are an invaluable tool in managing your properties with the utmost accuracy. Landscape items are easily seen in relation to your property, neighboring properties, and the structures within them.

Storm Response Services-

Our damage assessments and appraisals for damage and insurance claims use national standardized valuation methods to help you recover more quickly from unexpected events.

Natural Areas Management and Restoration-

We are scientific, hands on professionals in these often difficult areas: Habitat Assessments, Wetlands Assessments and Delineations, Wildlife Surveys, Environmental Assessments, Mitigation Programs, Plant Community Restorations, Endangered Species Monitoring and Preservation, and Environmental Violation Negotiations. **Page 112**



From: Miguel Reto <miguel@landshore.com>
Sent: Monday, January 13, 2025 3:40 PM
To: Gloria Perez <gperez@sdsinc.org>
Cc: Landshore Enterprises, LLC <info@landshore.com>
Subject: Walnut creek - Re-evaluation of the canal

Hello Gloria,

Please consider this email an informal update regarding the re-evaluation of the canal at the intersection of Sheridan Street and N 72nd Ave.

Landshore completed the survey of the canal on December 11, 2024. Since then, our team has reviewed the collected data and evaluated the changes over time. We noted some material loss and embankment shifting, though not to an extent that would necessitate a design update.

On another matter, Landshore observed the presence of nests along the shoreline and within the proposed staging area for the construction phase of this project. The nests along the shoreline may belong to gopher tortoises or another burrowing species. The nests in the staging area appear to be those of Florida burrowing owls, as indicated by the signage.

The presence of these nests complicates the proposed restoration of the area. We recommend that the community engage a wildlife environmental specialist to study the situation and provide guidance on how to proceed.

Landshore will provide an updated set of plans reflecting the changes observed in the embankment as well as these additional findings.

Best Regards,
Miguel Reto
Project Engineer/Estimator
Fort Lauderdale



Landshore Enterprises, LLC
d/b/a Erosion Restoration, LLC
"Your Shoreline Protection Specialists"
6555 Powerline Rd., Ste. #302
Fort Lauderdale, FL 33309
O. 954-327-3300
F. 954-533-1556

118 Shamrock Blvd.
Venice, FL 34293
O. 941-303-5238
F. 941-218-6113

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Ref. No. G 82390678



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 Office (954) 748-1306 Facsimile (954) 748-5998
 acrystal@bellsouth.net • www.crystalpoolservicesinc.com

QTY.	MATERIAL	PRICE	AMOUNT
1	3HP Square motor	838	-
1	Pump Seal	24	-
1	Seal plate	202	-
1	Seal plate O.Ring	24	-
	LABOR	375	-

DATE 10-25-2024

NAME Walnut Creek
 ADDRESS 1800 NW 76 Avenue
 CITY Pembroke Pines

PHONE 178206 Ronald

SCHEDULED DAY AM PM NEEDS OK
 ALL DAY OK'D BY

NON SERVICE ORDER BY BALANCE BILLABLE ROUTE# DAY

DESCRIPTION OF WORK

Needs New Filter Pump motor / 3HP System

TOTAL MATERIAL	1,088	-
TOTAL LABOR	375	-
UPON arrival - water low - Pump bridging & Sucking	1,463	-
TAX	0	

EAST Water pool

SIGNATURE

DATE COMPLETED

Thank You

PAY THIS AMOUNT

1,463.09

Air



RE: WC Crystal Pools APPROVAL Inv. No. 178206 New Motor for East Waterfall Filter Pump

From Gloria Perez <gperez@sdsinc.org>

Date Mon 10/28/2024 4:02 PM

To Jeff kohler <acrystal@bellsouth.net>; Ronald Galvis <rGalvis@sdsinc.org>

Cc Betty Ross (bar.one@juno.com) <bar.one@juno.com>; Gabrielle Vitucci <gvitucci@sdsinc.org>; Tori Shamy <tshamy@sdsinc.org>

Hi Jeff,

Please accept this email as the **Approval for Crystal Pools Invoice #178206, dated 10/28/2024, in the amount of \$1,463.00**, for a New Motor at the East Waterfall Pond Filter Pump. I have discussed this approval with Chairperson Betty Ross copied herein whom agrees with said approval.

Gabrielle and Ronald, we will be ratifying this action at a future meeting.

Thank you and have a great day,

Gloria Perez
District Manager
Special District Services, Inc.
gperez@sdsinc.org

Office: 786-347-2711 Ext. 2011

Toll Free: 877-737-4922



www.sdsinc.org

BOARD MEMBERS: Please do not use the reply all feature of your e-mail as it may be deemed a violation of the Sunshine law. Please reply only to the management office. Under Florida Law, e-mail addresses are public records.

From: Jeff kohler <acrystal@bellsouth.net>

Sent: Monday, October 28, 2024 3:17 PM

To: Gloria Perez <gperez@sdsinc.org>; Ronald Galvis <rGalvis@sdsinc.org>

Subject: Walnut Creek east pond filter pump needs new motor

Gloria

Upon arrival, East pond filter pump motor has gone bad. New 3 hp motor with seal plate, pump seal, tank oring installed, cost \$1,463.00. As attached is price breakdown. Please advise

Regards
Jeff Kohler
Crystal Pool Services

Quotation

Quote Date	Quote #
10/25/2024	28594

Bill To

Walnut Creek Community Development Dist
c/o Special District Services, Inc.
2501A Burns Road
Palm Beach Gardens, FL 33410

Attention Cathy D. Deckert

Ship To

Walnut Creek CDD
1800 NW 76th Ave.
Pembroke Pines, FL 33024

P.O. Number	Terms	Ship Date	Shipped Via	F.O.B.	Project
	Net 30	10/25/2024	HFI		

Item	Description	Qty	Each	Amount
L-250-LED	LED Platter for SL250 Light Fixture, complete with mounting hardware	9	332.00	2,988.00
Labor	Labor to repair and replace parts	1	875.00	875.00
<p>- Quote 28594 APPROVED by Chairperson Ross on 10/25/2024.</p> <p>- Please provide requested COIs before the commencement of any job.</p> <p><i>Ronald Galvis</i> Ronald Galvis - Field Operations Manager Walnut Creek CDD 10-25-2024</p>				

Tax # Year	08/31/2025	Tax Resale No.	85-8012629746C6	Sales Tax (0.0%)	\$0.00
------------	------------	----------------	-----------------	------------------	--------

This quotation is valid for 60 days.

Total	\$3,863.00
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Estimate

Date	Estimate #
11/12/2024	2024-1769


Name / Address
WALNUT CREEK 7500 NW 20th St. Pembroke Pines, FL 33024

Ship To

P.O. No.
Sheridan Right Entr...

Terms
Due on receipt

Description	Qty	Cost	Total
BD LOOPS - 6X12 PREFORMED DIRECT BURIAL LOOP W/100' LEAD WIRE	1	195.00	195.00
LOOP SEALANT-BLACK 1 QUART TUBE	2	50.00	100.00
NORTHSTAR 12-24V LOOP DETECTOR	1	120.00	120.00
HARNESS FOR RENO BX-3, BX-4, AX2, AX2DL 11 PIN FOR 1 & 2 CHANNEL LOOP DETECTORS	1	30.00	30.00
SELF LEVELING SEALANT GRAY	1	20.00	20.00
SHERIDAN RIGHT ENTRANCE SHADOW LOOP REPLACEMENT LABOR: - SAW CUT PAVERS FOR LOOP - GROUND LOOP INSTALLATION - SEAL SAW CUT - LOOP DETECTOR INSTALLATION AND CONNECTION	1	1,425.00	1,425.00


 Approved 11/15/2024
 by Gloria Perez,
 Dist. Manager

Subtotal	\$1,890.00	Sales Tax (7.0%)	\$0.00	Total	\$1,890.00
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Estimate

Date	Estimate #
11/18/2024	2024-1778

Name / Address
WALNUT CREEK 7500 NW 20th St. Pembroke Pines, FL 33024

Ship To

P.O. No.

Terms
Due on receipt

Description	Qty	Cost	Total
LED KIT	1	225.00	225.00
INSTALLATION AND CONNECTION OF NEW LED KIT FOR TAFT RESIDENT 2ND ARM	1	300.00	300.00
<p><i>Gloria Perez</i></p> <p>Approved by Gloria Perez, District Manager for Walnut Creek CDD on 11/20/2024.</p> <p>This proposal is approved pursuant to the terms of the existing maintenance agreement.</p>			

Subtotal	\$525.00	Sales Tax (7.0%)	\$0.00	Total	\$525.00
-----------------	----------	-------------------------	--------	--------------	----------

SHEKINAH FENCE SERVICES LLC



Estimate

LIC #20BS00378
 shekinahfence@gmail.com
 SHEKINAHFENCESERVICESLLC.COM
 786-339-6754

Estimate No: 6520
 Date: 11/09/2024

For: Pembroke Pines Walnut Creek
 rgalvis@sdsinc.org, Gperez@sdsinc.org
 WC SHERIDAN AND 72 AV
 (786) 413-7150

Description	Quantity	Rate	Amount
REPAIR FENCE SECTIONS BROKEN ALONG NW 72 AVE	1	\$1,756.00	\$1,756.00
140' FEET CHAIN LINK BLACK 4' TALL			
21' FEET TOP RAIL			
- 11 LOOP CAPS			

COI's and Affidavit are required prior to work commencement. *g.p.*

Subtotal	\$1,756.00
TAX 0%	\$0.00
Total	\$1,756.00

Total	\$1,756.00
--------------	-------------------

Comments

PAYMENT TERMS :
 PAYMENT TERMS :
 ZELLE PAYMENT TO : 954-709-9761
 ACH PAYMENT INFORMATION IS INCLUDED
 PAYMENT IN FULL WHEN FENCE INSTALLATION IS COMPLETE

Terms and Conditions

ACCEPTANCE OF PROPOSAL
 THE ABOVE PRICES, SPECIFICATION AND CONDITION ARE SATISFACTORY AND ARE HEREBY ACCEPETED. YOU ARE AUTHORIZING TO DO THE WORK AS SPECIFIED. PAYMENTS WILL BE MADE AS UNDERLINED ABOVE.
 QUOTE IS ONLY VALID FOR 15 DAYS
 STAFF MEMBERS ARE NOT RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND PIPE'S, LINE'S AND CABLE'S.

Gloria Perez

Client's signature

SHEKINAH FENCE
SERVICES LLC





RE: WC Estimate #6520 to review | SHEKINAH FENCE SERVICES LLC - APPROVED

From Gloria Perez <gperez@sdsinc.org>

Date Tue 11/12/2024 11:33 AM

To shekinahfence@gmail.com <shekinahfence@gmail.com>; Betty Ross (bar.one@juno.com) <bar.one@juno.com>; Ronald Galvis <rGalvis@sdsinc.org>

Cc Gabrielle Vitucci <gvitucci@sdsinc.org>

 2 attachments (613 KB)

WC Shekinah APPROVED Est. 6520 Fence Repair (\$1,756) 2024-11-12.pdf; WC AFFIDAVIT OF COMPLIANCE WITH ANTIHUMAN TRAFFICKING.pdf;

Good morning All,

Attached, for your use and records please find the Shekinah Fence Services, LLC approved and electronically signed Est. 6520, in the amount of \$1,756.00, for fence repairs at the area that runs parallel to NW 72nd Ave.

This action was verbally approved by Chairperson Ross copied herein and will be presented to the Board for ratification and approval during a future meeting.

I have also attached an Affidavit of compliance with anti-human trafficking (attached) that needs to be fully completed pursuant to *Chapter 2024 – 184, Laws of Florida (HB 7063)*, please forward me a fully executed and notarized copy via email for District records as soon as practicably possible as this is now a requirement.

Prior to the commencement of any job, and as typically done kindly provide Certificates of Insurance for our records via email to the attention of Ronald Galvis rgalvis@sdsinc.org and Brielle Barba bbarba@sdsinc.org copied herein; Certificates of Insurance are to consist of General Liability and Worker's Compensation, naming the District and Special District Services, Inc., as additional insureds and provide the waiver of subrogation.

The District's Certificate should read as follows:

Walnut Creek Community Development District
C/O Special District Services, Inc.
2501A Burns Rd.
Palm Beach Gardens, FL 33410

The description of the Operations section should read:

Walnut Creek Community Development District is listed as an additional insured in the general liability section of the contractor's insurance policy and provides a waiver of subrogation.

And on a separate certificate for Special District Services, Inc. to read:

Special District Services, Inc.
2501A Burns Rd.
Palm Beach Gardens, FL 33410

The description of the Operations section should read:
Special District Services, Inc. is listed as an additional insured in the general liability section of the contractor's insurance policy and provides a waiver of subrogation.

Please coordinate the start date with Ronald once all required documents are in place. If you have any questions, please do not hesitate to contact Ronald or myself.

Thank you and have a great day,

Gloria Perez
District Manager
Special District Services, Inc.
gperez@sdsinc.org

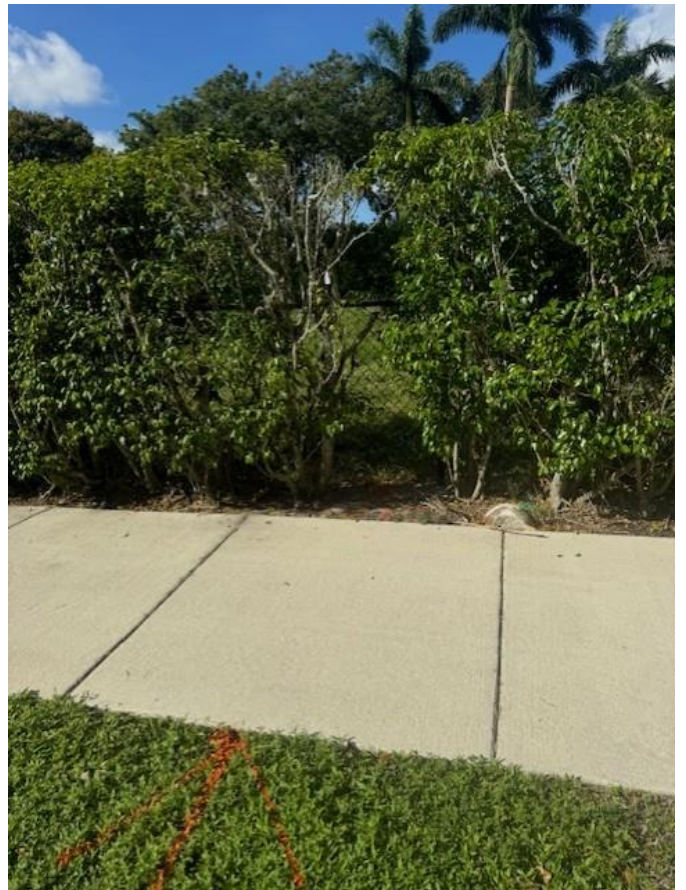
Office: 786-347-2711 Ext. 2011
Toll Free: 877-737-4922



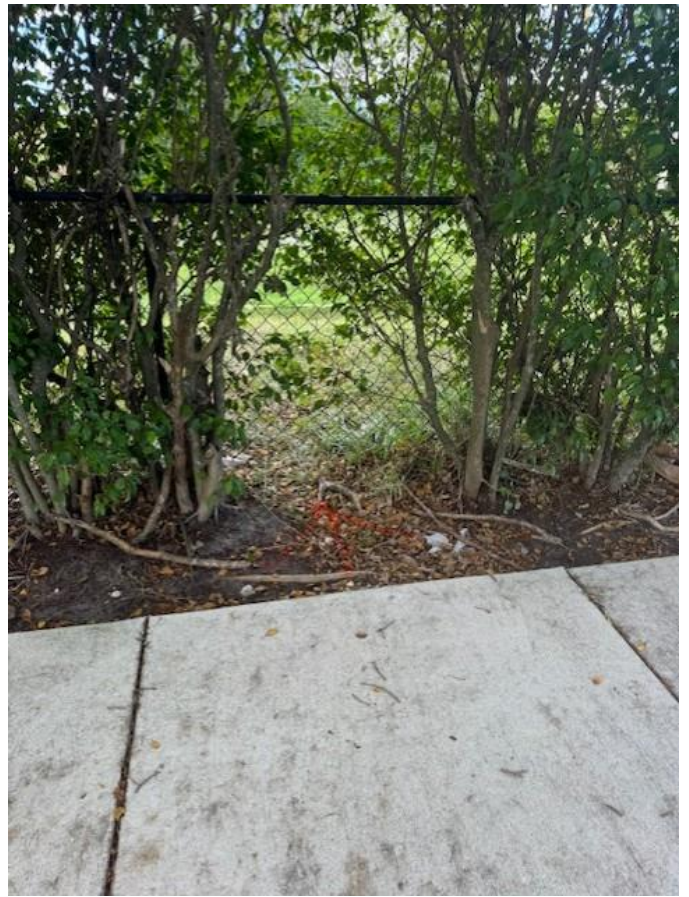
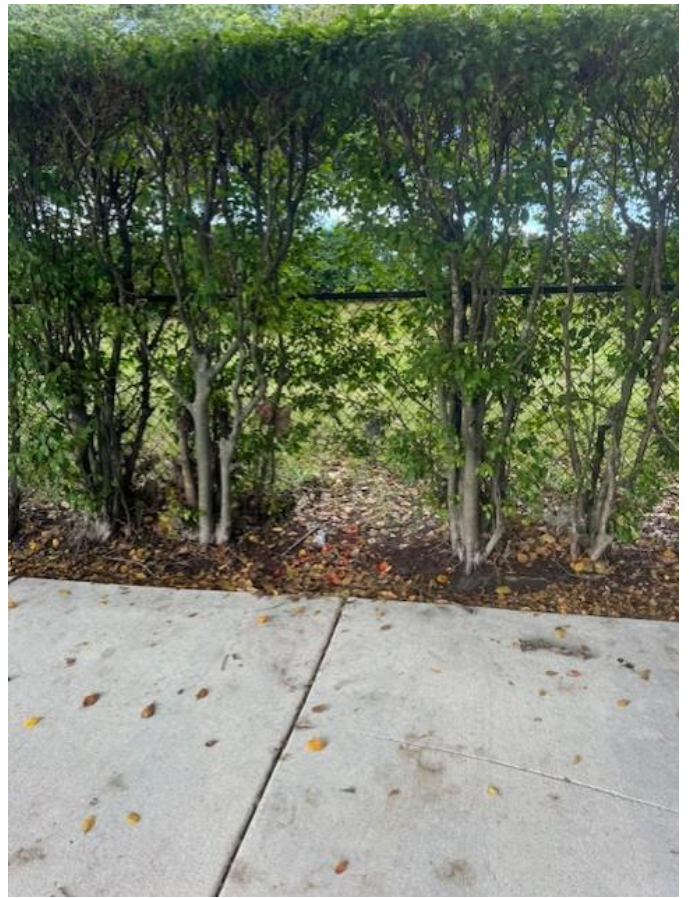
www.sdsinc.org

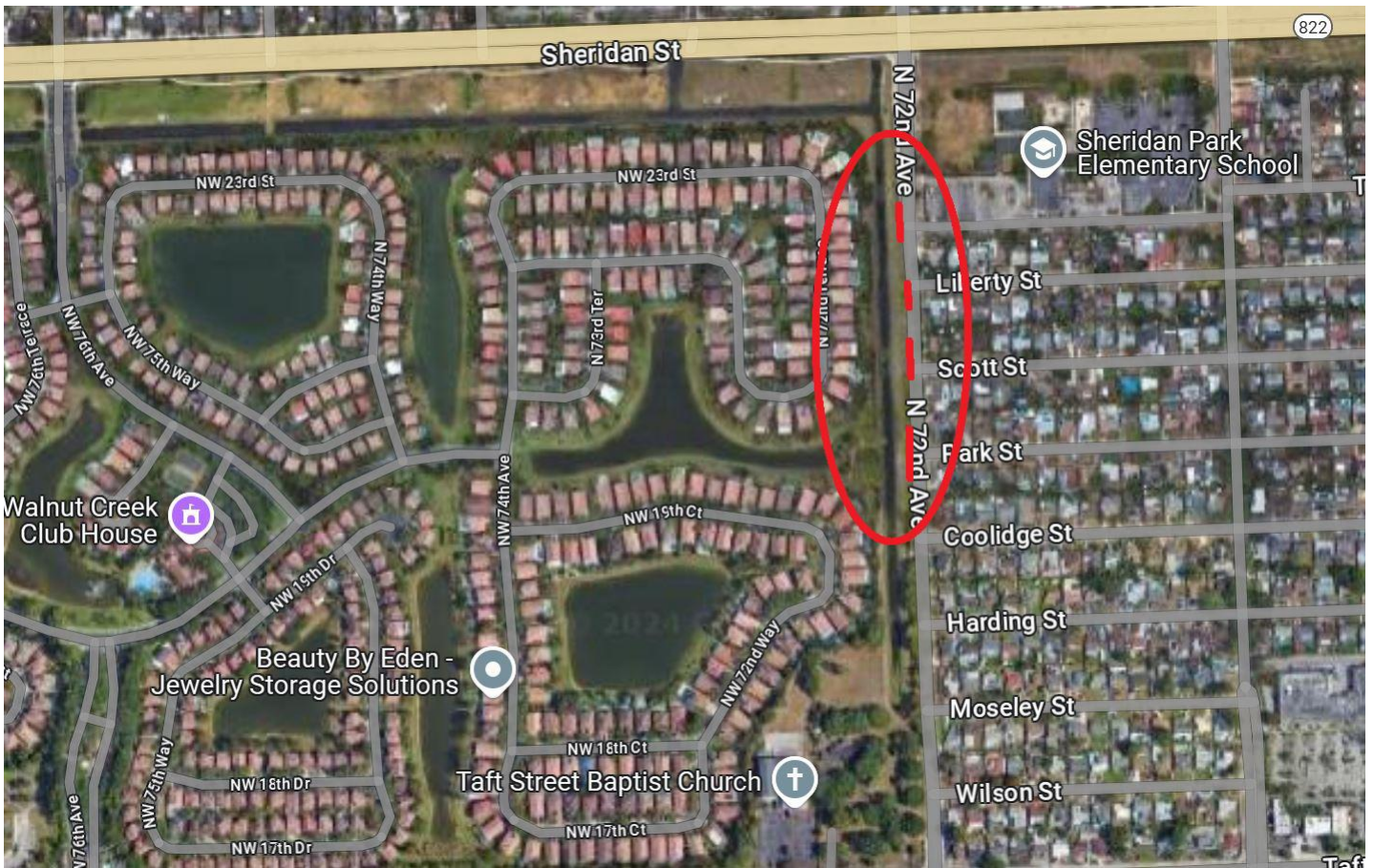
BOARD MEMBERS: Please do not use the reply all feature of your e-mail as it may be deemed a violation of the Sunshine law. Please reply only to the management office. Under Florida Law, e-mail addresses are public records.

From: SHEKINAH FENCE SERVICES LLC <invoice2go@communications.2go.com>
Sent: Saturday, November 9, 2024 3:08 PM
To: Ronald Galvis <rGalvis@sdsinc.org>; Gloria Perez <gperez@sdsinc.org>
Subject: Estimate #6520 to review | SHEKINAH FENCE SERVICES LLC











6151 PEMBROKE RD
 HOLLYWOOD, FL 33023
 MIAMI-DADE (305) 625-2600
 BROWARD (954) 989-7162
 FAX (954) 894-0334

EC0000345 / EC0003059

TIRONE-ELECTRIC.COM

12/06/2024

Time & Material
 6D24-148

Walnut Creek Community Development.

7900 NW 20th Street
 Pembroke Pines, FL 33024

RE: GFI Breakers for East & West Water Fountains

In accordance with your request, Tirone Electric proposes to furnish all necessary labor, tools and supervision for a complete and operational installation to the above referenced project as per our on-site review and as per the following listed qualifications.

1. Replace 20 amp fountain breakers for East and West water fountains.
2. Troubleshooting power issues will incur additional charges.
3. This quote includes (2) GFI breakers, additional material will be charged separately if needed.
4. Labor and material warranted for 1 year from date of installation.
5. Excessive loss of time due to delays of access to site will incur additional charges.

Time and Material Service not to exceed the listed price without customer approval:

Five Hundred Seventy Five Dollars\$575.00

Approved and Accepted:

The above prices, specifications and conditions are accepted. Tirone Data is authorized to do the work as specified. Payments will be made as outlined above payable by cash, check or charge. In the event a lien or other legal measures are commended to secure payments on any portion of the contract sum, the prevailing party shall be entitled to receive all costs and reasonable attorney fees.

Gloria Perez

 Signature

Gloria Perez, District Manager

 Printed Name and Title

 P.O. #

Ralph Bombardiere

[Ralph Bombardiere \(Dec 9, 2024 09:32 EST\)](#)
 Ralph Bombardiere
 Service Manager









6D24-147 Walnut Creek Community Development

Final Audit Report

2024-12-09

Created:	2024-12-09
By:	Gloria Perez (gperez@sdsinc.org)
Status:	Signed
Transaction ID:	CBJCHBCAABAAm5a2ynaAws9HhJgyz75YfNY8bKwI6-QI

"6D24-147 Walnut Creek Community Development" History

-  Document created by Gloria Perez (gperez@sdsinc.org)
2024-12-09 - 2:25:00 PM GMT
-  Document emailed to ralph@tirone-electric.com for signature
2024-12-09 - 2:25:48 PM GMT
-  Email viewed by ralph@tirone-electric.com
2024-12-09 - 2:26:02 PM GMT
-  Signer ralph@tirone-electric.com entered name at signing as Ralph Bombardiere
2024-12-09 - 2:32:45 PM GMT
-  Document e-signed by Ralph Bombardiere (ralph@tirone-electric.com)
Signature Date: 2024-12-09 - 2:32:47 PM GMT - Time Source: server
-  Agreement completed.
2024-12-09 - 2:32:47 PM GMT



6151 PEMBROKE RD
 HOLLYWOOD, FL 33023
 MIAMI-DADE (305) 625-2600
 BROWARD (954) 989-7162
 FAX (954) 894-0334

EC0000345 / EC0003059

TIRONE-ELECTRIC.COM

01/03/2025
 Time & Material
 6D24-150

Walnut Creek Community Development.

7900 NW 20th Street
 Pembroke Pines, FL 33024

RE: Light Bulb Replacement in Multiple Areas

In accordance with your request, Tirone Electric proposes to furnish all necessary labor, tools and supervision for a complete and operational installation to the above referenced project as per our on-site review and as per the following listed qualifications.

1. Retrofit (2) light poles by Taft St. entrance (2) recessed light bulbs and (1) by east wall pavilion.
2. Troubleshooting power issues will incur additional charges.
3. Labor and material warranted for 1 year from date of installation.
4. Excessive loss of time due to delays of access to site will incur additional charges.

Time and Material Service not to exceed the listed price without customer approval:
Five Hundred Seventy Five Dollars\$575.00

Approved and Accepted:

The above prices, specifications and conditions are accepted. Tirone Data is authorized to do the work as specified. Payments will be made as outlined above payable by cash, check or charge. In the event a lien or other legal measures are commended to secure payments on any portion of the contract sum, the prevailing party shall be entitled to receive all costs and reasonable attorney fees.

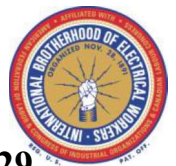
Gloria Perez
 Signature

Gloria Perez, District Manager
 Printed Name and Title

N/A
 P.O. #

Ralph Bombardiere
 Ralph Bombardiere (Jan 6, 2025 07:04 EST)
 Ralph Bombardiere
 Service Manager

- Approved by District Manager Gloria Perez on January 3rd, 2025.
- Requested COIs must be provided before the commencement of any job. gp RB
- Requested executed Affidavit of Compliance with Anti-Human Trafficking Laws (enclosed).



AFFIDAVIT OF COMPLIANCE WITH ANTI-HUMAN TRAFFICKING LAWS

In compliance with Section 787.06 (13), Florida Statutes, this attestation must be completed **by an officer or representative of a nongovernmental entity** that is executing, renewing, or extending a contract with Walnut Creek Community Development District (the "Governmental Entity").

The undersigned, on behalf of the entity listed below (the "Nongovernmental Entity"), hereby attests under penalty of perjury as follows:

1. Neither the Nongovernmental Entity nor any of its subsidiaries or affiliates uses coercion for labor or services, as such italicized terms are defined in Section 787.06, Florida Statutes, as may be amended from time to time.
2. If, at any time in the future, the Nongovernmental Entity uses coercion for labor or services, it will immediately notify the Governmental Entity, and no contracts may be executed, renewed, or extended between the parties.
3. I understand that I am swearing or affirming under oath to the truthfulness of the claims made in this affidavit and that the punishment for knowingly making a false statement includes fines and/or imprisonment.
4. The Affiant is authorized to execute this Affidavit on behalf of the Nongovernmental Entity.

FURTHER AFFIANT SAYETH NAUGHT.

NONGOVERNMENTAL ENTITY: Tirone Electric Inc d/b/a Tirone Electric & Data
 NAME: Jennifer Morgan
 TITLE: Corporate Secretary
 SIGNATURE: [Signature]
 DATE: 11/21, 2021

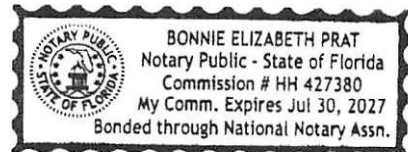
STATE OF FLORIDA
COUNTY OF Broward

SWORN TO (or affirmed) and subscribed before me by means of physical presence or online notarization, this 21 day of Nov 2021, by Jennifer Morgan in his/her capacity as Corporate Secretary for Tirone Electric Inc. (name of Nongovernmental Entity).

[Signature]
NOTARY PUBLIC

Personally Known OR
 Produced Identification

Type of Identification Produced



WC Tirone APPROVED Est. 6D24-150 Taft Lights Replace \$575 (2025-01-03) (002)

Final Audit Report


2025-01-06


Created:	2025-01-05
By:	Gloria Perez (gperez@sdsinc.org)
Status:	Signed
Transaction ID:	CBJCHBCAABAAohcww60ggkXoekC-1M59KkCYa2HfBqQZ


"WC Tirone APPROVED Est. 6D24-150 Taft Lights Replace \$575 (2025-01-03) (002)" History


 Document created by Gloria Perez (gperez@sdsinc.org)
2025-01-05 - 7:24:53 PM GMT

 Document emailed to ralph@tirone-electric.com for signature
2025-01-05 - 7:25:40 PM GMT

 Email viewed by ralph@tirone-electric.com
2025-01-06 - 12:03:45 PM GMT

 Signer ralph@tirone-electric.com entered name at signing as Ralph Bombardiere
2025-01-06 - 12:04:53 PM GMT

 Document e-signed by Ralph Bombardiere (ralph@tirone-electric.com)
Signature Date: 2025-01-06 - 12:04:55 PM GMT - Time Source: server

 Agreement completed.
2025-01-06 - 12:04:55 PM GMT



3300 CORPORATE AVENUE, SUITE 100
 WESTON, FL 33331
 MIAMI-DADE (305) 625-2600
 BROWARD (954) 989-7162
 FAX (954) 894-0334

EC0000345 / EC0003059

TIRONE-ELECTRIC.COM

November 8, 2024

Proposal
 6D24-209

Site: Walnut Creek
 7900 NW 20th Street
 Pembroke Pines, FL 33024

RE: Pole Light Head Replacement

In accordance with your request, Tirone Electric, Inc. proposes to furnish all necessary labor, tools, materials and supervision for a complete and operational electrical installation to the above referenced project as per our on-site review and as per the following listed qualifications.

- 1) Supply and replace (1) pole light head at Taft Street entrance, (1) bulb is included.
- 2) Time for troubleshooting other issues, not included in this quote and will incur additional charges.
- 3) Permits and engineering fees are not included.
- 4) This quote is valid for 30 days from the date above.
- 5) All work to be performed Monday through Friday during normal business hours.
- 6) All material and labor are warrantied for 1year from date of install. Any damage due to Mother Nature or vandalism is not warrantied.

Our Contract price, for the above referenced project is:

Two Thousand Five Hundred Fifty Five Dollars, \$2,555.00

TERMS: 50% upon signing and 50% upon completion.

Approved and Accepted:

The above prices, specifications and conditions are accepted. Tirone Electric, Inc. is authorized to do the work as specified. Payments will be made as outlined above. In the event a lien or other legal measures are commended to secure payments on any portion of the contract sum, the prevailing party shall be entitled to receive all costs and reasonable attorney fees.

Gloria Perez

 Signature

Gloria Perez, District Manager
 Printed Name and Title

11/20/2024
 PO/Date

Respectfully submitted,

Ralph Bombardiere

 Ralph Bombardiere
 Service Manager

Requested COIs must be provided before Commencement of any work. gP

Affidavit of compliance with anti-human trafficking (sent via email) needs to be fully completed/executed (Signed and notarized) pursuant to Chapter 2024-184, Laws of Florida (HB 7063). gP

Work to be done using selections pointed out (red circles) on the specs sheet. gP





SL900 SERIES POST TOP LUMINAIRE

The SL900 is ideal for use in commercial centers, industrial parks, school campuses, parks, and residential subdivisions. Its various options allow for architectural styles from Colonial to Art Deco to Contemporary.



PROUDLY MADE IN THE USA!

Overview

Wattage: up to 86 watt
 Lumen Output: up to 10,943 lm
 Color temp: 2700K, 3000K, 4000K
 Dimming: 0-10v dimming
 Lamping option: Mogul base option available

Wattage (values shown SY optic 30K)

30 watt (3695 lm)
 44 watt (5308 lm)
 60 watt (7111 lm)
 86 watt (9524 lm)
 Mogul Base Socket (54 watt max, lamp by others)

Optics / Distribution

Symmetric (SY)
 Asymmetric (AS)
 Street Optic (SO)
 Mogul base socket (MOG)

Electrical

Over voltage and short circuit protected driver
 Series connected 10kV/20kA surge protector
 120-277 auto voltage sensing

Luminaire Body

Cast aluminum fitter designed for 3" O.D. tenon secured with (3) stainless steel set screws. Optional cast aluminum ribs and formed crown available. Spun aluminum or optional polycarbonate injection molded dome. Cast aluminum finial options.

Finish

Polyester powder coat paint in accordance with AAMA 2603 standards.
 Contact factory for complete specifications.

SL900 SERIES POST TOP LUMINAIRE

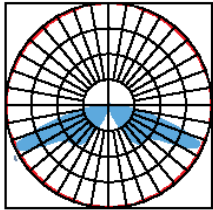
Ordering Information

MODEL	WATTAGE	OPTICAL NOT AVAILABLE WITH MOGUL BASE	CCT	CROWN & RIBS	DOME	TOP CAP	FINIAL	FINISH
SL900	30	SY SYMMETRICAL	2700	CAD ART DECO STYLE	PD POLYCARBONATE DOME	CP CLEAR POLYCARBONATE*	RD ROUND	BK BLACK
	44	AS ASYMMETRICAL	3000	CFT FLOWER TOP	SD SPUN ALUMINUM DOME	CA CAST ALUMINUM*	FL FLOWER	WH WHITE
	60	SO STREET OPTICS	4000	CSP SIMPLE		SA SPUN ALUMINUM**	SL STREET LAMP	DB DARK BRONZE
	86			NA NONE		* ONLY AVAILABLE WITH POLYCARBONATE DOME ** ONLY AVAILABLE WITH SPUN ALUMINUM DOME		GR GREEN RAL OPTIONS AVAILABLE

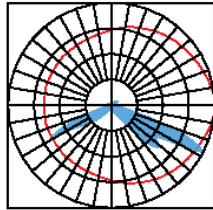
MOG
MOGUL BASE***

*** 54 WATT MAX
CORN BULB BY
OTHERS

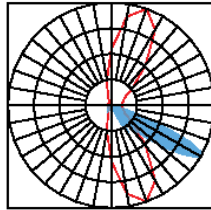
LIGHT DISTRIBUTION TYPES



SY
Type V



AS
Type IV



SO
Type III

FINIAL OPTIONS



FLOWER

ROUND

STREET LAMP

RIB OPTIONS



FLOWER

ART DECO

SIMPLE



MAX EPA 1.8 SQ FT

MAX WEIGHT 27 LBS

Walnut Creek CDD Gate Performance

DECEMBER 1ST 2024 – DECEMBER 31ST 2024

 **25,525 Total Entries Recorded.**

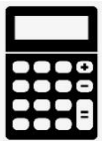
- An increase of 10,452 total recorded entries.

 **7,433 Total Residents Recorded.**

 **5,680 QR Invites Scanned.**

- An increase of 2,696.

This averages out to...



- 823 entries per day
- 34 entries per hour

Walnut Creek CDD

CENSUS

(AS OF 1/6/2025)

 **704** Units have logged into the application. (UP BY 45)

 **193** Units have not logged into the application.

 **3,237** Total Residents in the system. (DOWN BY 25)

 **3,127** Total Residents Vehicles in the system. (UP BY 53)

 **5,770** Total Permanent Visitors in the system. (UP BY
237)

Rover Performance

MOVEMENT MAP (DECEMBER 1ST – DECEMBER 31ST)



Misc. Statistics

Vehicle utilization rate during scheduled times – 97.2%

Vehicle idling time percentage average – 7.7% (a decrease of 4 percentage points)

Busiest days during period – December 1st, December 15th, December 31st

Distance traveled 1,553 mi ^{+3.87%}	Assets not moving 1	Utilization rate 97.2% ^{+31.21}	Aggressive driving 0	Idling time 7.7% ^{-1.31}
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We appreciate everyone's continued feedback & support.