

WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT

BROWARD COUNTY REGULAR BOARD MEETING JANUARY 21, 2025

6:00 P.M.

Special District Services, Inc. 8785 SW 165th Avenue, Suite 200 Miami, FL 33024

www.walnutcreekcdd.org

786.347.2711 ext. 2011 Telephone 877.SDS.4922 Toll Free 561.630.4923 Facsimile

AGENDA WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT Walnut Creek Clubhouse 7500 NW 20th Street Pembroke Pines, Florida 33024 REGULAR BOARD MEETING January 21, 2025 6:00 p.m.

| | | 0.00 pin. |
|----|------|---|
| A. | Call | to Order |
| В. | Proc | of of PublicationPage 1 |
| C. | Wel | come and Seat Board Members |
| D. | Adm | ninister Oath of Office & Review Board Member Responsibilities and Duties |
| Е. | Esta | blish Quorum |
| F. | Elec | tion of Officers |
| | • | Chairman |
| | • | Vice Chairman Secretary/Treasurer |
| | | Assistant Secretaries |
| G. | Add | itions or Deletions to Agenda |
| H. | Com | ments from the Public for Items Not on the Agenda |
| I. | Арр | roval of Minutes |
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| J. | Adm | ninistrative Matter |
| | 1. I | Financial UpdatePage 13 |
| K. | New | /Additional Business |
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| | 3. | Consider Approval of Holiday Lighting ProposalsPage 32 |
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| | 6. | Landscaping and Irrigation |
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| | | c. Discussion Regarding the Current Conditions of the District Common Area Landscaping and Irrigation |
| | | d. Consider Approval of the Earth Advisors Irrigation Wet Test and Mapping of SystemPage 110 |
| | 7. | Discuss Landshore Findings on the Erosion & Sediment Control Plan for Canal Updated Survey and PlansPage 113 |
| | 8. | Ratify and Approve Crystal Pools Est. 178206 East Waterfall Filter Pump MotorPage 114 |
| | 9. | Ratify and Approve Hall Fountains East & West Waterfall Light Fixtures and Installations |
| | 10. | Ratify and Approve Regions Est. 2024-1769 Sheridan Right Entrance Loop |
| | 11. | Ratify and Approve Regions Est. 2024-1778 Taft Resident Entrance LED Light Replacement |
| | 12. | Ratify and Approve Shekinah Est. 6520 Fence Repairs Along NW 72 nd AvenuePage 119 |
| | 13. | Ratify and Approve Tirone Proposal 6D24-148 East & West Waterfall Breakers ReplacementPage 127 |
| | 14. | Ratify and Approve Tirone Proposal 6D24-150 Taft Guardhouse and Street Lighting RepairsPage 129 |
| | 15. | Ratify and Approve Tirone Proposal 6D24-209 Sheridan Street Light Fixture ReplacementPage 132 |
| | | |

L. Security Systems/Services

- 1. Region's Security Report.....Page 135
 - a. Update on the Click2Enter Access Systems Upgrade
 - b. Update on the Sheridan Street Pedestrian Gate Keypad System Project
- 2. Security Administrator Updates and Reports:
 - a) Gate Maintenance/Service Report (provided via handout)
 - b) Invoice Report (provided via handout)
 - c) Incident Report (provided via handout)

M. Old Business

- N. Additional Staff Updates/Requests
 - 1. Attorney
 - 2. District Manager
- O. Additional Board Member/Public Comments
- P. Adjourn

www.walnutcreekcdd.org

SUN-SENTINEL

Sold To:

Walnut Creek Community Development District - CU80173075 2501 Burns Rd, Ste A Palm Beach Gardens,FL 33410-5207

<u>Bill To:</u>

Walnut Creek Community Development District - CU80173075 2501 Burns Rd, Ste A Palm Beach Gardens,FL 33410-5207

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State Of Florida County Of Orange

Before the undersigned authority personally appeared Rose Williams, who on oath says that he or she is a duly authorized representative of the SUN- SENTINEL, a DAILY newspaper published in BROWARD/PALM BEACH/MIAMI-DADE County, Florida; that the attached copy of advertisement, being a Legal Notice in:

The matter of 11720-Notice of Public Meeting, Was published in said newspaper by print in the issues of, and by publication on the newspaper's website, if authorized on Sep 30, 2024 SSC_Notice of Public Meeting Affiant further says that the newspaper complies with all legal requirements for publication in Chapter 50, Florida Statutes.

Signature of Affiant Sworn to and subscribed before me this: October 01, 2024.

Kelline Rellins

Signature of Notary Public



Name of Notary, Typed, Printed, or Stamped Personally Known (X) or Produced Identification ()

Affidavit Delivery Method: E-Mail Affidavit Email Address: LArcher@sdsinc.org 7701258

WALNUT CREEK COMMUNITY DEVEL-OPMENT DISTRICT FISCAL YEAR 2024/2025 REGULAR MEETING SCHEDULE NOTICE IS HEREBY GIVEN that the Board

of Supervisors of the Walnut Creek Community Development District will hold Regular Meetings at 6:00 p.m. at the Walnut Creek Community Clubhouse, 7500 NW 20th Street, Pembroke Pines, Florida 33024 on the following dates:

October 15, 2024 January 21, 2025 March 18, 2025 April 15, 2025 May 20, 2025 June 17, 2025 August 19, 2025

The purpose of the meetings is to conduct any business coming before the Board. Meetings are open to the public and will be conducted in accordance with the provisions of Florida law. Copies of the Agendas for any of the meetings may be obtained by contacting the District Manager at 786-347-2711 Ext. 2011 and/ or toll free at 1-877-737-4922, five (5) days prior to the date of the particular meeting.

There may be occasions when one or two Supervisors will participate by telephone; therefore, a speaker telephone will be present at the meeting location so that Supervisors may be fully informed of the discussions taking place. Meetings may be continued as found necessary to a time and place specified on the record.

If any person decides to appeal any decision made with respect to any matter considered at these meetings, such person will need a record of the proceedings and such person may need to ensure that a verbatim record of the proceedings is made at his or her own expense and which record includes the testimony and evidence on which the appeal is based.

In accordance with the provisions of the Americans with Disabilities Act, any person requiring special accommodations or an interpreter to participate at any of these meetings should contact the District Manager at 786-347-2711 Ext. 2011 and/or toll free at 1-877-737-4922, at least seven (7) days prior to the date of the particular meeting.

Meetings may be cancelled from time to time without advertised notice.

WALNUT CREEK community development district

www.walnutcreekcdd.org 09/30/2024 7701258

SUN-SENTINEL

Order # - 7701258

WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT REGULAR BOARD MEETING OCTOBER 15, 2024

A. CALL TO ORDER

District Manager, Gloria Perez, called the October 15, 2024, Regular Board Meeting of the Walnut Creek Community Development District (the "District") to order at 6:02 p.m. in the Walnut Creek Clubhouse located at 7500 NW 20th Street, Pembroke Pines, Florida 33024.

B. PROOF OF PUBLICATION

Proof of publication was presented that the notice of the Regular Board Meeting had been published in the *Sun Sentinel* on September 30, 2024, as part of the District's Fiscal Year 2024/2025 Meeting Schedule, as legally required.

C. ESTABLISH A QUORUM

Mrs. Perez determined that the attendance of the following Supervisors constituted a quorum, and it was in order to proceed with the meeting: Chairperson Betty Ross, Vice Chairperson Elina Levenson and Supervisors Allan Beckmann, Zalman Kagan and Igor Fateyev.

Staff in attendance included: District Manager Gloria Perez of Special District Services, Inc.; and General Counsel Gregory George of Billing, Cochran, Lyles, Mauro & Ramsey, P.A.

Others present included: Messrs. Ruiz and Rubio of Regions Security; Ms. Moisa, Walnut Creek Association Property Manager; and several members of the public.

D. ADDITIONS OR DELETIONS TO THE AGENDA

A **MOTION** was made by Supervisor Fateyev and seconded by Supervisor Kagan approving and directing District management to purchase and provide bottles of water for the Board Members to have during meetings.

E. COMMENTS FROM THE PUBLIC FOR ITEMS NOT ON THE AGENDA.

There were no comments from the public about items not on the agenda.

F. APPROVAL OF MINUTES 1. August 20, 2024, Regular Board Meeting

The minutes from the August 20, 2024, Regular Board Meeting were presented for consideration.

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Beckmann and unanimously passed approving the minutes of the August 20, 2024, Regular Board Meeting, as presented.

G. ADMINISTRATIVE MATTERS 1. Financial Update

Page 1 of 9

Financial Reports were presented in the meeting book and reviewed, which consist of the following: Monthly Financial Report-Operating Fund (actual revenues and expenditures with fund balances and availability); Check Registers; Balance Sheet; Debt Service Profit and Loss YTD Comparisons/Report(s); Tax/Assessment Collections; Expenditure Recap. Available Funds as of September 30, 2024, reflect \$1,623,069.88.

A motion for ratification of the financials or any further discussion was requested.

A **MOTION** was made by Supervisor Beckmann, seconded by Supervisor Levenson and passed unanimously ratifying and approving the financials, as presented.

2. Accept and Receive 2024 Engineer's Report

The annual engineer's report was presented in the meeting materials for the Board's review.

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Beckmann and unanimously passed accepting and receiving the District Engineer's 2024 Engineer's Report, as presented.

3. Consider Audit Renewal

Mrs. Perez reminded the Board that at the November 16, 2021, meeting the firm of Grau & Associates was selected to perform the 9-30-2021, 9-30-2022 and 9-30-2023 year end audits with an option to perform the 9-30-2024 and 9-30-2025 audits.

The fee for the 9-30-2021 audit was \$3,900; the fee for the 9-30-2022 audit was \$4,000; and the fee for the 9-30-2023 audit was \$4,100. The proposed fee for the 9-30-2024 audit is \$4,200, which is the budgeted amount for audit fees for Fiscal Year 2023/2024. The proposed fee for the 9-30-25 audit is \$4,300.

Management is pleased with the professionalism and competence of the Grau & Associates partners and staff; therefore, management recommends that the Board approve the renewal option for the Fiscal Year Ending 9-30-2024 and 9-30-2025 audits with Grau & Associates.

A **MOTION** was made by Supervisor Fateyev, seconded by Supervisor Beckmann and unanimously passed approving the 2-year audit renewal option with Grau & Associates for the Fiscal Years ending 9-30-2024 and 9-30-2025; and further approving the proposed fees for the 9-30-2024 audit in the amount of \$4,200, and the proposed fee for the 9-30-2025 audit which is \$4,300; and further authorizing District management to negotiate a lower price, if possible.

4. Broward County Supervisor of Elections' Update Regarding Qualified Candidates

Mrs. Perez advised the Board that pursuant to the Broward County Supervisor of Elections' website, there have been no changes to Incumbent Zalman Kagan holding <u>Seat #4</u>, as he still appears Active-Unopposed for the term starting in 2024.

As you are aware, Incumbent Elina Levenson did not qualify for <u>Seat #5</u>. <u>Seat #5</u> originally had two (2) candidates that appeared as Active-Qualified on the website:

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Mr. Sorin Cruceru, of whom it had been determined, does not reside within the District boundaries and who had since withdrawn from consideration and is no longer a candidate. This results in Mr. Benjamin Kroker now being designated as Active-Qualified for Seat #5.

On a separate matter, Supervisor Kagan mentioned that the Supervisor of Elections was including individuals outside of the District boundaries such as the Preserve (a neighboring community) to vote for District Supervisors when on the ballot. District management was asked to contact the Broward County Supervisor of Elections to provide them with a boundary map.

H. NEW/ADDITIONAL BUSINESS 1. Iguana Control Reports

Iguana Control Reports were presented in the meeting book and were reviewed by the Board.

Iguanas were removed from the following locations:

- 91 from the lakes and canals
- <u>34</u> from the Taft Street water features
- 125 Total

2. Consider Resolution No. 2024-07 – Adopting a Fiscal Year 2023/2024 Amended Budget

Mrs. Perez presented Resolution No. 2024-07, entitled:

RESOLUTION NO. 2024-07

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT AUTHORIZING AND ADOPTING AN AMENDED FINAL FISCAL YEAR 2023/2024 BUDGET ("AMENDED BUDGET"), PURSUANT TO CHAPTER 189, FLORIDA STATUTES; AND PROVIDING AN EFFECTIVE DATE.

Mrs. Perez explained, as done every year for administrative and statutory requirements, within 60 days of any given fiscal year end, the Board adopts a revised/amended budget for said year. The fiscal year ended on September 30, 2024. This is the reason it is administrative in nature (past year's budget for past year's expenses) and will serve as the Board's final approval/ratification of the District's expenditure(s) for the past fiscal year.

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Fateyev and unanimously passed adopting Resolution No. 2024-07, adopting a Fiscal Year 2023/2024 Amended Budget.

3. Update on Taft Street Visitor Gate Trap System Plans for Bid Process

Mrs. Perez advised the Board that the Visitor Gate Trap System plans had been finalized near the end of September and were currently out for bid. Therefore, proposals will be presented for Board consideration at the January 2025 meeting.

4. Update on Earth Advisors Landscaping and Irrigation Consulting Services

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Mrs. Perez advised that the agreement had been finalized on September 25, 2024, and we are currently awaiting the Landscaping and Irrigation Consulting Report, anticipated to be completed this week. Mrs. Perez noted that upon receipt of the report she would circulate the same to all the Board Members, District Staff and the Association PM and President. She further added that it appeared that there were issues with the irrigation system.

5. Update on HOA Request for Installation of Benches on District Owned Land Near Lakes

Ms. Moisa advised the District that the HOA was not interested in taking on any additional expenses with regards to the Bench Installations that were originally requested. A discussion ensued.

A **MOTION** was made by Supervisor Beckmann, seconded by Supervisor Fateyev and unanimously passed permanently TABLING the installation of benches.

a. Consider CAS Engineering Proposal for Bench Installation Project Near Lakes

No action was taken on this matter, as the proposal is no longer needed.

6. Discussion Regarding Erosion & Sediment Control Plan for Canal a. Consider Landshore Enterprises' Updated Proposal Part 1

Presented in the meeting book was the Landshore Enterprises proposal for the remobilization of the engineering team to survey and compare the current conditions with the "Erosion and Sedimentation Control Plan for Walnut Creek CDD Canal prepared by Landshore Enterprises, LLC, dated July 15, 2022" in the amount of \$1,500.00; thereby updating the survey to current conditions.

A **MOTION** was made by Supervisor Fateyev, seconded by Supervisor Levenson and passed unanimously approving the Landshore Enterprises' updated proposal in the amount of \$1,500 for the comparison of the current conditions with the "Erosion and Sedimentation Control Plan for Walnut Creek CDD Canal prepared by Landshore Enterprises, LLC and dated July 15, 2022;" directing District Counsel to prepare an agreement and/or amendment and simultaneously authorizing District management to execute on behalf of the District.

b. Consider Landshore Enterprises' Updated Proposal Part II (If Applicable)

This Landshore Enterprises proposal is to update the plans based on the changes pursuant to the updated survey and can be used for the bid process in the amount of \$1,000.00.

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Fateyev and passed unanimously approving the Landshore Enterprises' updated proposal in the amount of \$1,000 and further directing District Counsel to prepare an agreement and/or amendment and simultaneously authorizing District management to execute same on behalf of the District.

7. Consider Crystal Pools' Proposal for Repairs to Cracks of the Rocks of the Waterfall Features

The Crystal Pools Proposal #179238 dated 10/04/2024 for Repairs to Cracks of the Rocks of the Waterfall Features in amount of \$5,000.00.

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Original Message-----From: Crystal Pool Services <acrystal@bellsouth.net> Sent: Monday, October 7, 2024 6:43 AM To: Gloria Perez <gperez@sdsinc.org> Cc: jeff kohler <acrystal@bellsouth.net> Subject: Walnut Creek estimate to repair grout joints at rocks.

Gloria,

I have inspected all the rocks at the 3 waterfalls at Walnut Creek. I can confirm the one rock is cracked at the west waterfall, and at the large hole can be repaired by using cement blocks and apply cement to seal. The grout joints at the rocks needs attention / repair. The east waterfall and guardhouse waterfall is minor and has been repaired before, The west waterfall seems to need the most work. The rocks are not settling, But the previous cement that was used for the grout joints has worn away. The structure of all 3 waterfalls seems still intact, I find no defects in the visible structure.

The rocks are considered non structural and strictly cosmetics. Sealing these grout joints will help with weathering of the rocks from the inside. Refill of sand will help with portions of rock that do come in contact with the soil to carry the weight of these rocks.

There are 2 areas that need sand / fill and you will need a landscape contractor to set this fill. Both are at the west waterfall, first one is at the hole which is much smaller than I thought, should only need 1/2 cubic yard of sand. The second is at the landscaping just to the east side of the middle upper basin. The soil here has worn away at the base of rocks. This area may need 2 or 3 cubic yards of sand / fill.

As attachment is my price breakdown to apply a cement product to the grout joints and use either cement blocks or fiber mesh and the large hole and the long (6 foot) area. Both of these are needed at the west waterfall.

East Waterfall \$1,250.00 Guardhouse \$ 850.00 West Waterfall \$2,900.00 Total \$5,000.00

Please Advise

Regards Jeff Kohler Crystal Pool Services

<u>Update:</u> Pursuant to the FPL outages on Friday, October 11, 2024, it has been confirmed that several waterfall feature components have been damaged including one of the filter pumps and several lights. We are currently awaiting proposals for these items.

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A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Ross and passed unanimously approving Crystal Pools Proposal #179238 dated 10/04/2024 for Repairs to Cracks of the Rocks of the Waterfall Features in an amount of \$5,000, as presented.

8. Consider Proposal for Sand Replacement of the Waterfall Features

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Beckmann and passed unanimously approving the Felix Clean Services, a pool and pond service provider, for sand replacement of the waterfall features at a cost of \$4,700, to fill and secure openings that appear to have been washed out or tunneled by iguanas; and further directs District Counsel to prepare an agreement and simultaneously authorizing District management to execute same on behalf of the District.

9. Consider Ratification and Approval of New Fumigation Agreement with KJC Fumigation LLC

Mrs. Perez advised that the District's service provider, 1st Solutions Pest Control, had since closed the business and transferred the book of business with the same employees and cost to KJC Fumigation LLC. This is still pending finalization on behalf of KJC who has not provided the required COI's. Mrs. Perez further noted that if the Board agreed, she would allow one more week for finalization. Otherwise, she will proceed to request additional proposals if needed. The Board agreed with the recommended actions.

10. Consider Ratification and Approval of Randy's Holiday Lighting Assignment and Consent Agreement and Actions Taken on Behalf of District

Mrs. Perez advised regarding the Randy's Holiday Lighting Assignment & Consent Agreement as well as actions taken on behalf of the District. The District will request a new proposal as the current service being provided is the last, pursuant to the current agreement, and no changes in cost have been made. District management will gather proposals for Board consideration during the January 2025 meeting.

A **MOTION** was made by Supervisor Fateyev, seconded by Supervisor Levenson and unanimously passed ratifying and approving the Randy's Holiday Lighting Assignment & Consent Agreement as well as actions taken on behalf of the District.

11. Consider Ratification and Approval of Shekinah Est. 6746 for Fence Fabric Replacement

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Beckmann and passed unanimously ratifying and approving Shekinah Est. 6746 for fence fabric replacement at a cost of \$2,565, as presented, and for which the work has already been completed.

12. Consider Ratification and Approval of Tirone Proposal for Taft & Sheridan Streets Light Maintenance and Bulbs

A **MOTION** was made by Supervisor Fateyev, seconded by Supervisor Beckmann and passed unanimously ratifying and approving the Tirone proposal for Taft and Sheridan Streets light maintenance and bulbs at a cost of \$585, as presented, and for which the work has already been completed.

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I. SECURITY SYSTEMS/SERVICES 1. Regions' Security Report

The Regions Security Report was presented in the meeting materials and Mr. Ruiz went over the report and noted that the Rover vehicle was now equipped with AI cameras that display footage of the vehicle surroundings and the driver of the vehicle

a. Update on Click2Enter Access Systems Upgrade

The Clock2Enter Access Systems upgrade is currently going through the permitting process.

b. Update on Sheridan Street Pedestrian Gate Keypad System Project

From: crivero regionssecurity.com <crivero@regionssecurity.com>
Sent: Tuesday, October 15, 2024 11:10 AM
To: Gloria Perez <gperez@sdsinc.org>
Subject: Walnut Creek CDD - Sheridan Street Pedestrian Gate Keypad System

Hello Gloria,

Happy Tuesday! I hope this email dins you well.

The pedestrian gate keypad system project at Sheridan was completed last month. The keypad is now installed and programmed to operate with both a PIN and the community app, and it has been set to lock and unlock according to the provided schedule.

Currently, residents can request a PIN through property management, as they are able to generate one for each resident. Meanwhile, SOS is working on implementing a system that will automatically generate PIN codes, eliminating the need for property management to do so manually on a case-by-case basis.

Cordially, *Carlos Rivero, Jr.* U.S. Army Veteran President & CEO at Regions Security Services

c. Discussion Regarding Towing Companies Entering Unauthorized Via Sheridan Entrance/Exit

It has been determined that towing companies have been entering the District unauthorized by way of tampering with the entry and exit gates via Sheridan. A discussion ensued and no action was taken at this time.

d. Consider Regions' Proposal for Sheridan Tag Reader for Exit

The Region\s' proposal for Sheridan tag reader for exit consists of the following:

Exit Lanes - Vehicle Plate Camera Decoding - Total 5,634.00 – This item was discussed and was not approved by the Board.

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Remote Gate Control – Four Gate Motors - Total \$ 3,512.00 For the Virtual Guard to open the gate.

A **MOTION** was made by Supervisor Levenson, seconded by Supervisor Beckmann and passed unanimously approving the remote gate control and four gate motors for the Virtual Guard to open the gate at a cost of \$3,512, as presented, directing District Counsel to prepare a small project agreement and simultaneously authorizing District management to execute the same on behalf of the District.

PlateTrak System Monthly Service Cost (optional item):

Vehicle Plate Management – *Not for everyday use; more so for individual events and research.* Decoding (Tag - Color - Make - Class)

Residential communities and commercial buildings can now improve surveillance services with new advanced technology that captures and decodes data in real-time for vehicles entering any facility, even at high speeds. The system will decode each license plate, vehicle class, make, and color. All captured data and images are automatically saved in the Cloud to allow for smart playback. The information is stored for 6 months and can be searched by vehicle tag number, class, make and color. Once the target vehicle is found, the images can be retrieved. Providing this information to the proper authorities can

deliver results that are hard to attain otherwise without vehicle intelligent software. Regions does not guarantee that all license plates will be readable by the system, especially if they are blocked in some way, missing or damaged. Consumer acknowledges that license plates which are "unreadable" are due to no fault of the system. Consumer should have a back-up system in place for those occasions when a plate cannot be read accurately.

Option 1 \$ 164.00/ Month For One Camera Option 2 \$ 144.00/ Month For Two Cameras Option 3 \$ 124.00/ Month For Three or More Cameras

The above options were discussed and were TABLED for the time being.

2. Security Administrator Updates and Reports a. Gate Maintenance/Service Report

The report was provided via handout by Messrs. Ruiz and Rubio.

b. Invoice Report

The report was provided via handout by Messrs. Ruiz and Rubio.

c. Incident Report

The Incident Report was provided via a handout by Mr. Ruiz who advised that claims were being made directly to the insurance companies for the damages to District security gates.

Mrs. Perez requested that all Regions Security reports be forwarded in PDF format for District records.

J. OLD BUSINESS

1. Update on Pressure Cleaning Project

It was noted that this project had been completed.

2. Update on Taft Street Pavilion Repairs and Painting Small Project

It was noted that this project had been completed.

K. ADDITIONAL STAFF UPDATES/REQUESTS 1. Attorney

Mr. George reminded the Board to complete their 4 hours of ethics training by December 31, 2024.

2. District Manager

The District Manager had nothing further.

L. ADDITIONAL BOARD MEMBER/PUBLIC COMMENTS

Several members of the public had comments pertaining to the wait time for guests and/or deliveries that occur at the Taft Street Visitor entrance and a discussion ensued amongst the Board Members, the members of the public and Regions Security Staff after which the Board requested that Regions provide more information as to the capabilities of the Decoding Cameras to be discussed further at a future meeting.

M. ADJOURNMENT

There being no further business to come before the Board a **MOTION** was made by Supervisor Fateyev, seconded by Supervisor Levenson and passed unanimously adjourning the meeting at 7:29 p.m.

ATTESTED BY:

Secretary /Assistant Secretary

Chairman/Vice-Chair

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Walnut Creek Community Development District

Financial Report For December 2024

WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT MONTHLY FINANCIAL REPORT OPERATING FUND DECEMBER 2024

| | Annual Budget 10/1/24 - 9/30/25 | Actual Dec-24 | Year To Date Actual 10/1/24 - 12/31/24 |
|---|---------------------------------------|------------------|---|
| REVENUES | | | |
| ADMINISTRATIVE ASSESSMENTS | 191,895 | 146,478 | 170,709 |
| MAINTENANCE ASSESSMENTS | 1,268,723 | 968,867 | 1,129,144 |
| DEBT ASSESSMENTS (2010) | 129,869 | 99,231 | 115,646 |
| OTHER REVENUE | 0 | 1,000 | |
| INTEREST INCOME | 1,800 | 0 | |
| TOTAL REVENUES | \$ 1,592,287 | \$ 1,215,576 | \$ 1,417,499 |
| EXPENDITURES | | | |
| | | | |
| | 10.000 | 0 | 1 000 |
| | 10,000 | 0 | , |
| PAYROLL TAXES (EMPLOYER) ENGINEERING | 800 | 0 | |
| | 40,000 | 0 | - , |
| | 23,000 | 0 | 3,578 |
| | 4,200 | • | 0 |
| MANAGEMENT | 50,556 | | 12,639 |
| | 1,450 | 5 | |
| OFFICE SUPPLIES/PRINTING | 5,300 | 3 | |
| | 24,000 | 0 | , |
| | 2,500 | 0 | - |
| MISCELLANEOUS | 8,750 | 225 | 2,783 |
| DUES & SUBSCRIPTIONS | 175 | - | - |
| ASSESSMENT ROLL | 7,500 | 0 | - |
| | 1,600 | 0 | .,.=• |
| | 350 | | - |
| | 2,000 | | 500 |
| TOTAL ADMINISTRATIVE EXPENDITURES | \$ 182,181 | \$ 4,613 | \$ 48,824 |
| MAINTENANCE EXPENDITURES | | | |
| FIELD MANAGEMENT | 5,000 | 0 | 2,500 |
| OPERATIONS MANAGEMENT | 12,000 | 3,000 | 3,000 |
| SECURITY SERVICES | 370,000 | 21,678 | 63,651 |
| HOA SECURITY SERVICES ADMIN | 35,100 | 1,100 | 3,300 |
| SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SYSTEMS | 35,000 | | |
| SECURITY CAMERAS & MAINTENANCE | 12,000 | 274 | 822 |
| SECURITY ONLINE SOLUTIONS | 12,000 | 0 | 2,180 |
| TELEPHONE | 12,500 | 600 | 3,430 |
| ELECTRIC | 85,000 | | 23,656 |
| WATER & SEWAGE | 16,000 | 803 | |
| GUARD HOUSE - VISITOR PASSES | 0 | 0 | 0 |
| GATE SYSTEM MAINTENANCE | 50,000 | 17,005 | 25,027 |
| GUARD HOUSE INT/EXT MAINTENANCE | 30,000 | | |
| LAKE & PRESERVE MAINTENANCE | 48,000 | 2,960 | |
| SIGNAGE | 2,000 | | |
| STREETLIGHT MAINTENANCE | 5,000 | | 0 |
| WATERFALL MAINTENANCE | 80,000 | | 20,600 |
| HOLIDAY LIGHTING | 11,000 | | |
| IGUANA REMOVAL SERVICES | 27,000 | | 6,725 |

WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT MONTHLY FINANCIAL REPORT OPERATING FUND DECEMBER 2024

| | Annual | | Year To Date |
|--|-------------------|--------------|--------------------|
| | Budget | Actual | Actual |
| | 10/1/24 - 9/30/25 | Dec-24 | 10/1/24 - 12/31/24 |
| MISCELLANEOUS MAINTENANCE | 10,000 | 59 | 4,973 |
| STORMWATER MGT & PIPE REPLACEMENT RESERVE/CONTINGENCY | 100,000 | 0 | 0 |
| PRESSURE CLEANING & PAINTING OF EXTERIOR STRUCTURES | 14,000 | 0 | 0 |
| HEADWALL STABILIZATION PROJECT | 50,000 | 0 | 0 |
| LAKE SLOPE SOIL MAINTENANCE | 10,000 | 0 | 0 |
| S-8 CANAL RECONSTRUCTION - ENGINEERING DESIGN & CONSTRUCTION | 240,000 | 0 | 0 |
| OPERATING RESERVE/CONTINGENCY | 24,000 | 0 | 0 |
| TAFT STREET STRUCTURE MAINTENANCE | 0 | 0 | 0 |
| STORMWATER DRAINAGE PIPE CLEANING & CCTV PROJECT | 0 | 0 | 0 |
| MONUMENT MAINTENANCE | 6,000 | 0 | 0 |
| TOTAL MAINTENANCE EXPENDITURES | \$ 1,301,600 | \$ 65,752 | \$ 185,900 |
| TOTAL EXPENDITURES | \$ 1,483,781 | \$ 70,365 | \$ 234,724 |
| EXCESS OR (SHORTFALL) | \$ 108,506 | \$ 1,145,211 | \$ 1,182,775 |
| PAYMENT TO TRUSTEE (2010) | (122,077) | (93,370) | (108,808) |
| BALANCE | \$ (13,571) | \$ 1,051,841 | \$ 1,073,967 |
| COUNTY APPRAISER & TAX COLLECTOR FEE | (31,810) | (23,323) | (27,179) |
| DISCOUNTS FOR EARLY PAYMENTS | (63,619) | (48,416) | (56,527) |
| EXCESS/ (SHORTFALL) | \$ (109,000) | \$ 980,102 | \$ 990,261 |
| CARRYOVER FROM PRIOR YEAR | 109,000 | 0 | 0 |
| NET EXCESS/ (SHORTFALL) | \$- | \$ 980,102 | \$ 990,261 |

<u>Notes</u>

Reserves Set-Up For Un-Used Budgeted Fiscal Year 20/21, 21/22, 22/23 & 23/24 Maintenance Projects.

Improvement/Emergency Funds May Be Needed To Fund A Portion Of The Projects.

Reserve Balances Total \$1,225,000 (\$825,000 as of 9-30-23 -plus 9/30/24 additions - \$400,000).

Reserve Additions: S-8 Canal: \$240,000 - Stormwater/Pipe: \$100,000 - Headwall: \$50,000 - Lake Slop - \$10,000 - Total: \$400,000.

| Bank Balance As Of 12/31/24 | \$ 2,919,021.08 |
|--|--------------------|
| Accounts Payable As Of 12/31/24 | \$ 203,875.84 |
| Accounts Receivable As Of 12/31/24 | \$ 11,720.00 |
| Reserve For Headwall Stabilization As Of 12/31/24 | \$ 150,000.00 |
| Reserve For Lake Slope Soil Maintenance As Of 12/31/24 | \$ 40,000.00 |
| Reserve For Stormwater Maint/Pipe Replacement As Of 12/31/24 | \$ 255,000.00 |
| Reserve For S-8 Canal Reconstruction As Of 12/31/24 | \$ 780,000.00 |
| Operating Account Available Funds As Of 12/31/24 | \$ 1,501,865.24 |
| Improvements/Emergency Funds As Of 12/31/24 | \$ 1,105,050.33 |
| Total Available Funds As Of 12/31/24 | \$ 2,606,915.57 |

Walnut Creek Community Development District Budget vs. Actual October through December 2024

| Income 0 0 0 0 0 0 01-3100 - Administrative Assessment 170,708,97 191,895,00 -21,186,03 88,96% 01-3201 - Maintenance Assessment 1.129,143,65 1.268,723,00 -14,222,60 89,05% 01-3821 - Debt Assessment S(Berles 2010) 115,646,40 1228,077,00 13,268,30 89,13% 01-3831 - Assessment Discounts -56,527,08 -63,619,00 7,091,92 88,85% 01-3830 - Assessment Discounts -56,527,08 -63,619,00 2,000,00 0.00 1,800,00 -0.00% 01-3401 - Interset Income 0.00 1,800,00 -723,50 9,56% 0.1300,00 -0.00% 01-1307 - Payroll tax expense 76,50 800,00 -723,50 9,55% 0.1300,00 -109,000,00 -0.00% 01-1310 - Engineering 3,880,00 40,000,00 -36,020,00 9,95% 0.1311 - Management Fees 1,55% 0.1314 15,55% 0.1314 1433,781,00 -2,287,786,19 8,26,0% 01-1317 - Payroll tax expense 76,50 0,556,00 | | Oct - Dec 24 | 24/25 Budget | \$ Over Budget | % of Budget |
|---|--|--------------|--------------|----------------|-------------|
| 01-3200 · Maintenance Assessment 1,129,143,65 1,258,723.00 -139,579,35 89,0% 01-3311 · Debt Assessments (Series 2010) 115,546,40 129,869,00 -142,220 89,05% 01-3830 · Assessment Discounts -55,527.08 -63,811,00 7,091,92 88,85% 01-3400 · Miscellaneous Revenue 2,000,00 0,00 2,000,00 100,0% 01-3411 · Carryover From Prior Year 0,00 19,000,00 -169,000,00 0,0% Total Income 1,224,984,81 1,483,781,00 -258,796,19 82,86% 01-307 · Payroll tax expense 76,65 800,00 -723,50 9,65% 01-307 · Payroll tax expense 76,65 800,00 -723,50 9,55% 01-3136 · Supervisor Fees 12,639,00 50,556,00 -37,917,00 25,0% 01-3131 · Management Fees 12,639,00 50,556,00 -37,917,00 25,0% 01-3132 · Legal Advertisoments 0,00 4,200,00 -4,200,00 0,0% 01-3132 · Legal Advertisoments 0,00 4,200,00 -2,500,00 0,0% 01-1 | Income | | 0 | | 0 |
| 01-3811 · Debt Assessments (Series 2010) 115,646.40 129,869.00 -14.222.60 89.03% 01-3821 · Debt Assessment Fees -27,178.43 -31,810.00 4.630.57 85.44% 01-3831 · Assessment Fees -27,178.43 -31,810.00 4.630.57 88.54% 01-3831 · Assessment Fees -27,178.43 -31,810.00 4.630.57 88.65% 01-9400 · Miscellaneous Revenue 2,000.00 0.00 2,000.00 109,000.00 100.0% 01-307 · Payroll tax expense 0.00 1122,4984.81 1,483.781.00 -258.786.19 82.56% Expense 1122,4984.81 1,483.781.00 -258.786.19 82.56% 01-1307 · Payroll tax expense 76.50 800.00 -723.50 9.56% 01-1316 · Legai Fees 1,000.00 0.000.00 -36.00.00 -258.786.19 82.56% 01-1315 · Legai Fees 1,000.00 0.000.00 -36.00.00 -250.50 0.00.00 -36.00.00 9.56% 01-1315 · Legai Fees 0.00 7,500.00 -71.60.00 10.55% 0.155.56.00 37.917.00 <td< th=""><th></th><th>170,708.97</th><th>191,895.00</th><th>-21,186.03</th><th>88.96%</th></td<> | | 170,708.97 | 191,895.00 | -21,186.03 | 88.96% |
| 01-3821 · Debt Assess-Paid To Trustee-10 -108,807.70 -122,077.00 13,269.30 89.13% 01-3830 · Assessment Discounts -56.527.08 -63,619.00 7,091.92 88.85% 01-3840 · Miscellaneous Revenue 2,000.00 0.00 2,000.00 0.00 2,000.00 0.00% 01-9410 · Interest Income 0.00 1,800.00 -199,000.00 0.0% 01-940 · Miscellaneous Revenue 1,224,984.81 1,483,781.00 -258,796.19 82.56% Expense 1,224,984.81 1,483,781.00 -258,796.19 82.56% Expense 1,263,080.0 40,000.00 -36,020.00 9.05% 01-1316 · Engineering 3,980.00 40,000.00 -36,020.00 9.95% 01-1314 · Management Fees 12,639.00 50,556.00 -37,917.00 25,0% 01-1316 · Assessment/Tax Roll 0.00 7,500.00 -0,750.00 0.0% 01-14150 · Insurance 21,894.00 24,000.00 -2,600.00 0.0% 01-14160 · Legal Advertisements 0.00 2,500.00 -2,666.65 31.81% | 01-3200 · Maintenance Assessment | 1,129,143.65 | 1,268,723.00 | -139,579.35 | 89.0% |
| 01-3830 · Assessment Discounts -27,179.43 -31,810.00 4,630.57 85,44% 01-3831 · Assessment Discounts -56,527.08 -63,619.00 7,091.92 88,85% 01-9400 · Miscellaneous Revenue 2,000.00 0.00 2,000.00 0.00% 01-9411 · Carryover From Prior Year 0.00 1,800.00 -1,900.00 0.0% Total Income 1,224,984.81 1,483,781.00 -228,796.19 82,56% Expense 1,000.00 109,000.00 -723,50 9,56% 01-1307 · Payroll tax expense 76,50 800.00 -723,50 9,56% 01-1316 · Supervisor Fees 1,000.00 10,000.00 -96,020.00 9,95% 01-1315 · Legal Fees 3,577.50 23,000.00 -19,422.50 15,55% 01-1316 · Legal Fees 0,00 7,500.00 -7,910.00 0.0% 01-1420 · Legal Advertisements 0,00 2,4000.00 -2,106.00 91,23% 01-1512 · Miscellaneous 2,783.35 8,750.00 -2,906.00 0.0% 01-1514 · Office Supplies 472.68 < | 01-3811 · Debt Assessments (Series 2010) | 115,646.40 | 129,869.00 | -14,222.60 | 89.05% |
| 01-3831 · Assessment Discounts 5-66,527,08 -6-3,619,00 7,091,92 88,85% 01-9400 · Miscellaneous Revenue 2,000.00 0.00 2,000.00 0.00% 0.1307 · Payroll tax expense 7723.50 9.60% 0.110.00 0.900.00 10.0% 0.11316 · Legal Fees 1.2639.00 40.000.00 -723.50 9.65% 0.1318 · Legal Fees 0.00 7.500.00 0.0% 0.1318 · Legal Fees 0.00 7.500.00 0.0% 0.1555 0.11316 · Legal Advertisements 0.00 7.500.00 0.0% 0.1460 0.0% 0.16% 0.1556 0.0% 0.1556 0.0% 0.1460 0.0% 0.1556 0 | 01-3821 · Debt Assess-Paid To Trustee-10 | -108,807.70 | -122,077.00 | 13,269.30 | 89.13% |
| 01-9400 · Miscellaneous Revenue 2,000.00 0.00 2,000.00 1,000.00 1,000.00 1,000.00 0.0% 01-9411 · Carryover From Prior Year 0.00 1,224,984.81 1,483,781.00 -258,798.19 82.56% Expense 765.50 800.00 -723.50 9.56% 01-1307 · Payroll tax expense 76.50 800.00 -723.50 9.56% 01-1305 · Eggineering 3,980.00 0.000.00 -9.000.00 9.900.00 9.95% 01-1315 · Legal Fees 1,26,390.00 50,556.00 -37,917.00 25,55% 01-1315 · Legal Fees 0.00 7,500.00 -7,550.00 0.0% 01-1315 · Legal Advertisements 0.00 2,500.00 -7,550.00 0.0% 01-1450 · Liscellaneous 2,783.3 8,750.00 -5,966.65 31.81% 01-1512 · Miscellaneous 2,783.5 8,750.00 -5,966.65 31.81% 01-1512 · Miscellaneous 2,783.5 8,750.00 -5,966.65 31.81% 01-1512 · Miscellaneous 2,783.5 7550.00 -5,966.65 | 01-3830 · Assessment Fees | -27,179.43 | -31,810.00 | 4,630.57 | 85.44% |
| 01-9410 interest Income 0.00 1,800.00 -1,800.00 0.0% 01-9411 Carryover From Prior Year 0.00 199,000.00 -109,000.00 0.0% Total Income 1,224,984.81 1,483,781.00 -256,796.19 82,56% Expense 01-1307 Payroll tax expense 76,50 800.00 -723,50 9,56% 01-1306 Supervisor Fees 1,000.00 10,000.00 -8,000.00 10,0% 01-1311 Hangement Fees 12,639.00 40,000.00 -7,500.00 0.0% 01-1312 Audit Fees 0.00 4,200.00 -7,500.00 0.0% 01-1430 Insurance 21,894.00 24,000.00 -2,106.00 91.23% 01-1450 Insurance 21,894.00 24,000.00 -2,500.00 0.0% 01-1512 Miscellaneous 2,783.35 8,750.00 -5,966.65 31.81% 01-1514 Officion 91.23% 11,600.00 -1180.00 88.75% 01-1550 Continuing Disclosure Fee 0.0 | 01-3831 · Assessment Discounts | -56,527.08 | -63,619.00 | 7,091.92 | 88.85% |
| 01-9411 · Carryover From Prior Year 0.00 199,000.00 -109,000.00 0.0% Total Income 1,224,984.81 1,483,781.00 -258,796.19 82.56% Expense 01-1307 · Payroll tax expense 76.50 800.00 -723.50 9.56% 01-1307 · Payroll tax expense 1,000.00 10,000.00 -9,000.00 10.0% 01-1310 · Engineering 3,860.00 40,000.00 -36,020.00 9.55% 01-1311 · Management Fees 12,639.00 50,556.00 -77,500.00 0.0% 01-1312 · Legal Fees 3,577.50 23,000.00 -14,222.00 15,55% 01-1320 · Audit Fees 0.00 7,500.00 -2,500.00 0.0% 01-1450 · Insurance 21,894.00 24,000.00 -2,500.00 0.0% 01-1512 · Miscellaneous 2,783.35 8,750.00 -1,144.75 21.05% 01-1514 · Office Supplies 172.00 1,600.00 -1,80.00 88.75% 01-1550 · Vubsite Management 499.8 2,000.00 -1,500.02 25.0% 01-1604 · Ouer, License & Subscriptions </th <th>01-9400 · Miscellaneous Revenue</th> <th>2,000.00</th> <th>0.00</th> <th>2,000.00</th> <th>100.0%</th> | 01-9400 · Miscellaneous Revenue | 2,000.00 | 0.00 | 2,000.00 | 100.0% |
| Total Income 1.224,984.81 1.483,781.00 -258,796.19 82.56% Expense 01-1307 Payroli ta expense 76.50 800.00 -723.50 9.56% 01-1308 Supervisor Fees 1.000.00 10,000.00 -9,000.00 10.0% 01-1310 Engineering 3,980.00 40,000.00 -36,020.00 9.95% 01-1315 Legal Fees 12,639.00 50,555.00 -37,917.00 25.0% 01-1315 Legal Fees 3,577.50 23,000.00 -19,422.50 15.5% 01-1316 Assessment/Tax Roll 0.00 7,500.00 -7,500.00 0.0% 01-1450 Insurance 21,894.00 24,000.00 -2,106.00 91.23% 01-1512 Miscellaneous 2,783.35 8,750.00 -5,966.65 31.81% 01-1514 Office Supplies 472.68 5,300.00 -4,827.32 8.92% 01-1540 Dues, License & Subscriptions 175.00 1,600.00 -160.00 88.75% 01-1604 Guardhouse Int/Ext Maintena | 01-9410 · Interest Income | 0.00 | 1,800.00 | -1,800.00 | 0.0% |
| Expense 76.50 800.00 -723.50 9.56% 01-1307 · Payroll tax expense 76.50 800.00 -9.000.00 10.00% 01-1308 · Supervisor Fees 10.00.00 10.0000 -9.000.00 9.95% 01-1310 · Engineering 3.980.00 40.000.00 -36.02.00 9.95% 01-1311 · Management Fees 12.639.00 50.556.00 -37.917.00 25.0% 01-1318 · Assessment/Tax Roll 0.00 7.500.00 -7.500.00 0.0% 01-1450 · Insurance 21.894.00 24.000.00 -2.106.00 91.23% 01-1450 · Insurance 27.83.35 8.750.00 -5.966.65 31.81% 01-1512 · Miscellaneous 2.783.35 8.750.00 -4.827.32 8.92% 01-1540 · Dues, License & Subscriptions 17.50 17.400.00 -1.00.07 100.0% 01-1550 · Trustee Fees (GF) 1.420.00 1.600.00 -360.00 2.05% 01-1660 · Security Services & Rover 63.650.90 370.000.00 -306.349.10 17.2% 01-1601 · Security Services & Rover 63.650.000 </th <th>01-9411 · Carryover From Prior Year</th> <th>0.00</th> <th>109,000.00</th> <th>-109,000.00</th> <th>0.0%</th> | 01-9411 · Carryover From Prior Year | 0.00 | 109,000.00 | -109,000.00 | 0.0% |
| 01-1307 · Payroll tax expense 76.50 800.00 -723.50 9.56% 01-1306 · Supervisor Fees 1,000.00 10,000.00 -9,000.00 10,0% 01-1310 · Engineering 3,980.00 40,000.00 -36,020.00 9.95% 01-1311 · Management Fees 12,639.00 50,556.00 -37,917.00 25.0% 01-1315 · Legal Fees 3,577.50 23,000.00 -19,422.50 15.55% 01-1316 · Assessment/Tax Roll 0.00 7,500.00 -7,500.00 0.0% 01-1480 · Legal Advertisements 0.00 24,000.00 -2,106.00 91.23% 01-1512 · Miscellaneous 2,783.35 8,750.00 -5,966.65 31.81% 01-1514 · Office Supplies 472.68 5,300.00 -4,827.32 8.92% 01-1540 · Dues, License & Subscriptions 175.00 176.00 0.00% 01.0% 01-1550 · Trustee Fees (GF) 1,420.00 1600.00 -360.300 0.0% 01-1560 · Gate System Maintenance 4,98.47.3 30,000.00 -25.915.27 13.62% 01-1660 · Gate System Maintenance | Total Income | 1,224,984.81 | 1,483,781.00 | -258,796.19 | 82.56% |
| 01-1308 · Supervisor Fees 1,000.00 10,000.00 -9,000.00 10.0% 01-1310 · Engineering 3,980.00 40,000.00 -36,020.00 9.95% 01-1311 · Management Fees 12,639.00 50,556.00 -37,917.00 25,0% 01-1315 · Legal Fees 3,577.50 23,000.00 -19,422.50 15,55% 01-1312 · Audit Fees 0.00 4,200.00 -7,500.00 0.0% 01-1320 · Audit Fees 0.00 4,200.00 -2,106.00 912.3% 01-1480 · Legal Advertisements 0.00 2,500.00 -2,500.00 0.0% 01-1512 · Miscellaneous 2,783.35 8,750.00 -1,144.75 21.05% 01-1512 · Miscellaneous 2,783.35 8,750.00 -1,144.75 21.05% 01-1514 · Office Supplies 472.68 5,300.00 -4,827.32 8.92% 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 8.75% 01-1550 · Trustee Fees (GF) 1,420.00 -1,600.00 25.01% 01-1604 · Guardhouse Int/Ext Maintenance 4,084.73 30,000.00 -2,49.73.00 <th>Expense</th> <th></th> <th></th> <th></th> <th></th> | Expense | | | | |
| 01-1310 · Engineering 3,980.00 40,000.00 -36,020.00 9.95% 01-1311 · Management Fees 12,639.00 50,556.00 -37,917.00 25.0% 01-1315 · Legal Fees 3,577.50 23,000.00 -19,422.50 15.55% 01-1318 · Assessment/Tax Roll 0.00 7,500.00 -7,500.00 0.0% 01-1320 · Audit Fees 0.00 4,200.00 -4,200.00 0.0% 01-1450 · Insurance 21,894.00 24,000.00 -2,500.00 0.0% 01-1512 · Miscellaneous 2,763.35 8,750.00 -5,966.65 31.81% 01-1513 · Postage and Delivery 305.25 1,450.00 -1,144.75 21.05% 01-1540 · Dues, License & Subscriptions 175.00 175.00 0.00 100.0% 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 -150.00 25.0% 01-1601 · Security Services & Rover 63,650.90 370,000.00 -36,349.10 17.2% 01-1602 · Gate System Maintenance 28.02% 01.1609 -24,973.00 50.5% 01-1603 · Security Online Solutions | 01-1307 · Payroll tax expense | 76.50 | 800.00 | -723.50 | 9.56% |
| 01-1311 · Management Fees 12,639.00 50,556.00 -37,917.00 25.0% 01-1315 · Legal Fees 3,577.50 23,000.00 -19,422.50 15.55% 01-1312 · Audit Fees 0.00 7,500.00 -7,500.00 0.0% 01-1320 · Audit Fees 0.00 4,200.00 -2,106.00 91.23% 01-1480 · Legal Advertisements 0.00 2,500.00 -2,500.00 0.0% 01-1512 · Miscellaneous 2,783.35 8,750.00 -5,966.65 31.81% 01-1514 · Office Supplies 472.68 5,300.00 -4,827.32 8.92% 01-1540 · Dues, License & Subscriptions 175.00 1,600.00 180.00 88.75% 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 -366.491 17.2% 01-1601 · Security Services & Rover 63,550.93 370,000.00 -36,349.10 17.2% 01-1605 · Gate System Maintenance 25,027.00 50,000.00 -24,973.00 50.05% 01-1605 · Security Cameras & Maintenance 8,280.00 48,000.00 -39,120.00 18.17% 01-1605 · Security C | 01-1308 · Supervisor Fees | 1,000.00 | 10,000.00 | -9,000.00 | 10.0% |
| 01-1315 · Legal Fees 3.577.50 23,000.00 -19,422.50 15.55% 01-1318 · Assessment/Tax Roll 0.00 7,500.00 -7,500.00 0.0% 01-1320 · Audit Fees 0.00 4,200.00 -4,200.00 0.0% 01-1450 · Insurance 21,894.00 24,000.00 -2,106.00 91,23% 01-1480 · Legal Advertisements 0.00 2,500.00 -5,966.65 31.81% 01-1512 · Miscellaneous 2,783.35 8,750.00 -1,144.75 21.05% 01-1513 · Postage and Delivery 305.25 1,450.00 -1,144.75 21.05% 01-1540 · Dues, License & Subscriptions 175.00 175.00 0.00 100.0% 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 -1,80.00 88.75% 01-1601 · Security Services & Rover 63,650.90 370,000.00 -25,915.27 13.62% 01-1601 · Security Cameras & Maintenance 25,027.00 50,000.00 -24,973.00 50.05% 01-1601 · Security Cameras & Maintenance 8,820.00 12,000.00 -1,117.800 6.85% 01-1605 | 01-1310 · Engineering | 3,980.00 | 40,000.00 | -36,020.00 | 9.95% |
| 01-1318 · Assessment/Tax Roll 0.00 7,500.00 -7,500.00 0.0% 01-1320 · Audit Fees 0.00 4,200.00 -4,200.00 0.0% 01-1450 · Insurance 21,894.00 24,000.00 -2,106.00 91.23% 01-1480 · Legal Advertisements 0.00 2,500.00 -0.0% 0.0% 01-1512 · Miscellaneous 2,783.35 8,750.00 -5,966.65 31.81% 01-1514 · Office Supplies 472.68 5,300.00 -4,827.32 8.92% 01-1554 · Dues, License & Subscriptions 175.00 175.00 0.00 100.0% 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 -180.00 88.75% 01-1550 · Toutinuing Disclosure Fee 0.00 370.000.00 -363.01 1.72% 01-1604 · Guardhouse Int/Ext Maintenance 4,084.73 30,000.00 -24,973.00 50.05% 01-1604 · Guardhouse Int/Ext Maintenance 825.00 12,000.00 -9,820.00 18.17% 01-1604 · Guardhouse Int/Ext Maintenance 826.00 12,000.00 -24,973.00 50.05% 01-1604 · Secu | 01-1311 · Management Fees | 12,639.00 | 50,556.00 | -37,917.00 | 25.0% |
| 01-1320 · Audit Fees 0.00 4,200.00 -4,200.00 91.23% 01-1450 · Insurance 21,894.00 24,000.00 -2,106.00 91.23% 01-1480 · Legal Advertisements 0.00 2,500.00 -2,500.00 0.0% 01-1512 · Miscellaneous 2,783.35 8,750.00 -5,966.65 31.81% 01-1513 · Postage and Delivery 305.25 1,450.00 -1,144.75 21.05% 01-1540 · Dires, License & Subscriptions 175.00 175.00 0.00 100.0% 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 -180.00 88.75% 01-1551 · Continuing Disclosure Fee 0.00 350.00 -356.00 0.0% 01-1601 · Security Services & Rover 63,650.90 370.000.00 -24,973.00 50.05% 01-1604 · Guardhouse Int/Ext Maintenance 4,084.73 30,000.00 -24,973.00 50.05% 01-1604 · Security Cameras & Maintenance 822.00 12,000.00 -34,973.00 50.05% 01-1604 · Security Online Solutions 2,180.00 48,000.00 -39,820.00 18.5% | 01-1315 · Legal Fees | 3,577.50 | 23,000.00 | -19,422.50 | 15.55% |
| 01-1450 · Insurance 21,894.00 24,000.00 -2,106.00 91.23% 01-1480 · Legal Advertisements 0.00 2,500.00 -2,500.00 0.0% 01-1512 · Miscellaneous 2,783.35 8,750.00 -5,966.65 31.81% 01-1513 · Postage and Delivery 305.25 1,450.00 -1,144.75 21.05% 01-1540 · Dues, License & Subscriptions 175.00 0.75.00 0.00 100.0% 01-1551 · Continuing Disclosure Fee 0.00 350.00 -4.827.32 8.92% 01-1601 · Security Services & Rover 63,650.90 370,000.00 -1500.02 25.0% 01-1601 · Security Services & Rover 63,650.90 370,000.00 -25,915.27 13.62% 01-1601 · Security Cameras & Maintenance 4,084.73 30,000.00 -24,973.00 50.0% 01-1601 · Security Cameras & Maintenance 822.00 12,000.00 -4.49.73.00 50.6% 01-1601 · Security Cameras & Maintenance 822.00 12,000.00 -34,973.00 50.6% 01-1601 · Security Cameras & Maintenance 8,880.00 48,000.00 -3,820.00 | 01-1318 · Assessment/Tax Roll | 0.00 | <i>,</i> | -7,500.00 | 0.0% |
| 01-1480 · Legal Advertisements 0.00 2,500.00 -2,500.00 0.0% 01-1512 · Miscellaneous 2,783.35 8,750.00 -5,966.65 31.81% 01-1513 · Postage and Delivery 305.25 1,450.00 -1,144.75 21.05% 01-1514 · Office Supplies 472.68 5,300.00 -4,827.32 8.92% 01-1540 · Dues, License & Subscriptions 175.00 175.00 0.00 100.0% 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 -180.00 88.75% 01-1570 · Website Management 499.98 2,000.00 -1,500.02 25.0% 01-1604 · Guardhouse Int/Ext Maintenance 4,084.73 30,000.00 -25,915.27 13.62% 01-1605 · Gate System Maintenance 25.027.00 50,000.00 -24,973.00 50.05% 01-1609 · Security Cameras & Maintenance 822.00 12,000.00 -11,178.00 6.85% 01-1601 · Security Online Solutions 2,180.00 12,000.00 -39,120.00 18.17% 01-1805 · Stormwater Mgt/Pipe Replacement 0.00 2,000.00 -44.933.92 27.83% < | 01-1320 · Audit Fees | | , | -4,200.00 | 0.0% |
| 01-1512 · Miscellaneous 2,783.35 8,750.00 -5,966.65 31.81% 01-1513 · Postage and Delivery 305.25 1,450.00 -1,144.75 21.05% 01-1514 · Office Supplies 472.68 5,300.00 -4,827.32 8.92% 01-1540 · Dues, License & Subscriptions 175.00 175.00 0.00 100.0% 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 -180.00 88.75% 01-1570 · Website Management 499.98 2,000.00 -365.00 25.0% 01-1601 · Security Services & Rover 63,650.90 30,000.00 -25,915.27 13.62% 01-1605 · Gate System Maintenance 42.007.00 50,000.00 -24,973.00 50.05% 01-1609 · Security Cameras & Maintenance 82.00 12,000.00 -24,973.00 50.05% 01-1609 · Security Online Solutions 2,180.00 12,000.00 -39,120.00 18.17% 01-1805 · Stormwater Mgt/Pipe Replacement 0.00 2,000.00 -20,000.00 0.0% 01-1815 · Miscellaneous Maintenance 4,974.38 10,000.00 -2,000.00 0.0% | | 21,894.00 | 24,000.00 | -2,106.00 | 91.23% |
| 01-1513 - Postage and Delivery 305.25 1,450.00 -1,144.75 21.05% 01-1514 - Office Supplies 472.68 5,300.00 -4,827.32 8.92% 01-1540 - Dues, License & Subscriptions 175.00 175.00 0.00 100.0% 01-1550 - Trustee Fees (GF) 1,420.00 1,600.00 -180.00 88.75% 01-1551 - Continuing Disclosure Fee 0.00 350.00 -350.00 0.0% 01-1601 - Security Services & Rover 63,650.90 370,000.00 -366,349.10 17.2% 01-1605 - Gate System Maintenance 4,084.73 30,000.00 -24,973.00 50.05% 01-1605 - Gate System Maintenance 822.00 12,000.00 -11,178.00 685% 01-1605 - Security Online Solutions 2,180.00 12,000.00 -9,820.00 18.17% 01-1605 - Security Online Solutions 2,180.00 10,000.00 -9,820.00 18.5% 01-1605 - Security Online Solutions 2,180.00 10,000.00 -9,070.15 27.83% 01-1805 - Stormwater Mgt/Pipe Replacement 0.00 2,000.00 -100,000.00 0.0%< | | | | -2,500.00 | |
| 01-1514 · Office Supplies 472.68 5,300.00 -4,827.32 8.92% 01-1540 · Dues, License & Subscriptions 175.00 175.00 0.00 100.0% 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 -180.00 88.75% 01-1551 · Continuing Disclosure Fee 0.00 350.00 -350.00 0.0% 01-1570 · Website Management 499.98 2,000.00 -1,500.02 25.0% 01-1601 · Security Services & Rover 63,650.90 370,000.00 -25,915.27 13.62% 01-1605 · Gate System Maintenance 4,084.73 30,000.00 -24,973.00 50.05% 01-1609 · Security Cameras & Maintenance 822.00 12,000.00 -9,820.00 18.17% 01-1610 · Security Online Solutions 2,180.00 12,000.00 -9,820.00 18.5% 01-1803 · Lake & Preserve Maintenance 8,880.00 48,000.00 -2,000.00 0.0% 01-1815 · Stormwater Mgt/Pipe Replacement 0.00 2,000.00 -100,000.00 0.0% 01-1814 · Electricity 23,656.08 85,000.00 -5,025.62 49.74% | | , | | - | |
| 01-1540 · Dues, License & Subscriptions 175.00 175.00 175.00 100.0% 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 -180.00 88.75% 01-1551 · Continuing Disclosure Fee 0.00 350.00 -350.00 0.0% 01-1570 · Website Management 499.98 2,000.00 -1,500.02 25.0% 01-1601 · Security Services & Rover 63,650.90 370,000.00 -306,349.10 17.2% 01-1604 · Guardhouse Int/Ext Maintenance 4,084.73 30,000.00 -24,973.00 50.05% 01-1605 · Gate System Maintenance 822.00 12,000.00 -11,178.00 6.85% 01-1610 · Security Online Solutions 2,180.00 12,000.00 -9,820.00 18.17% 01-1803 · Lake & Preserve Maintenance 8,880.00 48,000.00 -39,120.00 18.5% 01-1815 · Stormwater Mgt/Pipe Replacement 0.00 100,000.00 -100,000.00 0.0% 01-1815 · Miscellaneous Maintenance 4,974.38 10,000.00 -5,025.62 49.74% 01-1815 · Miscellaneous Maintenance 3,429.85 12,500.00 -5,025.6 | | | | | |
| 01-1550 · Trustee Fees (GF) 1,420.00 1,600.00 -180.00 88.75% 01-1551 · Continuing Disclosure Fee 0.00 350.00 -350.00 0.0% 01-1570 · Website Management 499.98 2,000.00 -1,500.02 25.0% 01-1601 · Security Services & Rover 63,650.90 370,000.00 -366,349.10 17.2% 01-1604 · Guardhouse Int/Ext Maintenance 4,084.73 30,000.00 -25,915.27 13.62% 01-1605 · Gate System Maintenance 25,027.00 50,000.00 -24,973.00 50.05% 01-1609 · Security Cameras & Maintenance 822.00 12,000.00 -11,178.00 6.85% 01-1610 · Security Online Solutions 2,180.00 12,000.00 -9,820.00 18.5% 01-1803 · Lake & Preserve Maintenance 8,880.00 48,000.00 -309,120.00 18.5% 01-1805 · Stormwater Mgt/Pipe Replacement 0.00 2,000.00 -2,000.00 0.0% 01-1812 · Signs 0.00 2,000.00 -5,025.62 49.74% 01-1815 · Miscellaneous Maintenance 4,974.38 10,000.00 -5,025.62 <td< th=""><th></th><th></th><th></th><th>-</th><th></th></td<> | | | | - | |
| 01-1551 · Continuing Disclosure Fee0.00350.00-350.000.0%01-1570 · Website Management499.982,000.00-1,500.0225.0%01-1601 · Security Services & Rover63,650.90370,000.00-306,349.1017.2%01-1604 · Guardhouse Int/Ext Maintenance4,084.7330,000.00-25,915.2713.62%01-1605 · Gate System Maintenance25,027.0050,000.00-24,973.0050.05%01-1609 · Security Cameras & Maintenance822.0012,000.00-11,178.006.85%01-1610 · Security Online Solutions2,180.0012,000.00-9,820.0018.17%01-1803 · Lake & Preserve Maintenance8,880.0048,000.00-39,120.0010.0%01-1815 · Stormwater Mgt/Pipe Replacement0.002,000.00-2,000.000.0%01-1814 · Electricity23,656.0885,000.00-61,343.9227.83%01-1815 · Miscellaneous Maintenance4,974.3810,000.00-5,025.6249.74%01-1816 · Telephone3,429.8512,500.00-12,948.3219.07%01-1818 · Field Management2,500.005,000.00-2,500.0050.0%01-1821 · Waterfall Maintenance20,600.0080,000.00-5,9400.0025.75%01-1824 · Streetlight Maintenance0.005,000.00-5,000.000.0%01-1826 · Holiday Lighting0.0011,000.00-11,000.000.0% | · • | | | | |
| 01-1570 · Website Management499.982,000.00-1,500.0225.0%01-1601 · Security Services & Rover63,650.90370,000.00-306,349.1017.2%01-1604 · Guardhouse Int/Ext Maintenance4,084.7330,000.00-25,915.2713.62%01-1605 · Gate System Maintenance25,027.0050,000.00-24,973.0050.05%01-1609 · Security Cameras & Maintenance822.0012,000.00-11,178.006.85%01-1610 · Security Online Solutions2,180.0012,000.00-9,820.0018.17%01-1803 · Lake & Preserve Maintenance8,880.0048,000.00-39,120.0018.5%01-1803 · Lake & Preserve Maintenance8,880.002,000.00-100,000.000.0%01-1815 · Stormwater Mgt/Pipe Replacement0.00100,000.00-2,000.000.0%01-1814 · Electricity23,656.0885,000.00-61,343.9227.83%01-1815 · Miscellaneous Maintenance4,974.3810,000.00-5,025.6249.74%01-1816 · Telephone3,429.8512,500.00-12,948.3219.07%01-1817 · Water & sewer3,051.6816,000.00-12,948.3219.07%01-1818 · Field Management2,500.005,000.00-2,500.0050.0%01-1821 · Waterfall Maintenance0.005,000.00-5,9400.0025.75%01-1826 · Holiday Lighting0.0011,000.00-11,000.000.0% | | | | | |
| 01-1601 · Security Services & Rover63,650.90370,000.00-306,349.1017.2%01-1604 · Guardhouse Int/Ext Maintenance4,084.7330,000.00-25,915.2713.62%01-1605 · Gate System Maintenance25,027.0050,000.00-24,973.0050.05%01-1609 · Security Cameras & Maintenance822.0012,000.00-11,178.006.85%01-1610 · Security Online Solutions2,180.0012,000.00-9,820.0018.17%01-1803 · Lake & Preserve Maintenance8,880.0048,000.00-39,120.0018.5%01-1805 · Stormwater Mgt/Pipe Replacement0.00100,000.00-100,000.000.0%01-1812 · Signs0.002,000.00-2,000.000.0%01-1815 · Miscellaneous Maintenance4,974.3810,000.00-5,025.6249.74%01-1817 · Water & sewer3,051.6816,000.00-12,948.3219.07%01-1818 · Field Management2,500.005,000.00-2,500.0050.0%%01-1824 · Streetlight Maintenance0.005,000.00-59,400.0025.75%01-1826 · Holiday Lighting0.0011,000.00-11,000.000.0% | _ | | | | |
| 01-1604 · Guardhouse Int/Ext Maintenance4,084.7330,000.00-25,915.2713.62%01-1605 · Gate System Maintenance25,027.0050,000.00-24,973.0050.05%01-1609 · Security Cameras & Maintenance822.0012,000.00-11,178.006.85%01-1610 · Security Online Solutions2,180.0012,000.00-9,820.0018.17%01-1803 · Lake & Preserve Maintenance8,880.0048,000.00-39,120.0018.5%01-1805 · Stormwater Mgt/Pipe Replacement0.00100,000.00-100,000.000.0%01-1812 · Signs0.002,000.00-2,000.000.0%01-1815 · Miscellaneous Maintenance4,974.3810,000.00-5,025.6249.74%01-1815 · Miscellaneous Maintenance3,429.8512,500.00-9,070.1527.44%01-1817 · Water & sewer3,051.6816,000.00-12,948.3219.07%01-1821 · Waterfall Maintenance20,600.0080,000.00-59,400.0025.75%01-1824 · Streetlight Maintenance0.005,000.00-5,000.000.0%01-1826 · Holiday Lighting0.0011,000.00-11,000.000.0% | - | | | - | |
| 01-1605 · Gate System Maintenance 25,027.00 50,000.00 -24,973.00 50.05% 01-1609 · Security Cameras & Maintenance 822.00 12,000.00 -11,178.00 6.85% 01-1610 · Security Online Solutions 2,180.00 12,000.00 -9,820.00 18.17% 01-1803 · Lake & Preserve Maintenance 8,880.00 48,000.00 -39,120.00 18.5% 01-1805 · Stormwater Mgt/Pipe Replacement 0.00 100,000.00 -100,000.00 0.0% 01-1812 · Signs 0.00 2,000.00 -2,000.00 0.0% 01-1815 · Miscellaneous Maintenance 4,974.38 10,000.00 -61,343.92 27.83% 01-1815 · Miscellaneous Maintenance 4,974.38 10,000.00 -5,025.62 49.74% 01-1816 · Telephone 3,429.85 12,500.00 -9,070.15 27.44% 01-1817 · Water & sewer 3,051.68 16,000.00 -12,948.32 19.07% 01-1818 · Field Management 2,500.00 5,000.00 -2,500.00 50.0% 01-1821 · Waterfall Maintenance 20,600.00 80,000.00 -5,000.00 25.75% | | | | - | |
| 01-1609 · Security Cameras & Maintenance822.0012,000.00-11,178.006.85%01-1610 · Security Online Solutions2,180.0012,000.00-9,820.0018.17%01-1803 · Lake & Preserve Maintenance8,880.0048,000.00-39,120.0018.5%01-1805 · Stormwater Mgt/Pipe Replacement0.00100,000.00-100,000.000.0%01-1812 · Signs0.002,000.00-2,000.000.0%01-1814 · Electricity23,656.0885,000.00-61,343.9227.83%01-1815 · Miscellaneous Maintenance4,974.3810,000.00-5,025.6249.74%01-1816 · Telephone3,429.8512,500.00-9,070.1527.44%01-1817 · Water & sewer3,051.6816,000.00-12,948.3219.07%01-1818 · Field Management2,500.005,000.00-2,500.0050.0%01-1821 · Waterfall Maintenance0.005,000.00-59,400.0025.75%01-1826 · Holiday Lighting0.0011,000.00-11,000.000.0% | | | | - | |
| 01-1610 · Security Online Solutions2,180.0012,000.00-9,820.0018.17%01-1803 · Lake & Preserve Maintenance8,880.0048,000.00-39,120.0018.5%01-1805 · Stormwater Mgt/Pipe Replacement0.00100,000.00-100,000.000.0%01-1812 · Signs0.002,000.00-2,000.000.0%01-1814 · Electricity23,656.0885,000.00-61,343.9227.83%01-1815 · Miscellaneous Maintenance4,974.3810,000.00-5,025.6249.74%01-1816 · Telephone3,429.8512,500.00-9,070.1527.44%01-1817 · Water & sewer3,051.6816,000.00-12,948.3219.07%01-1818 · Field Management2,500.005,000.00-2,500.0050.0%01-1824 · Streetlight Maintenance0.005,000.00-59,400.0025.75%01-1826 · Holiday Lighting0.0011,000.00-11,000.000.0% | | | | - | |
| 01-1803 · Lake & Preserve Maintenance8,880.0048,000.00-39,120.0018.5%01-1805 · Stormwater Mgt/Pipe Replacement0.00100,000.00-100,000.000.0%01-1812 · Signs0.002,000.00-2,000.000.0%01-1814 · Electricity23,656.0885,000.00-61,343.9227.83%01-1815 · Miscellaneous Maintenance4,974.3810,000.00-5,025.6249.74%01-1816 · Telephone3,429.8512,500.00-9,070.1527.44%01-1817 · Water & sewer3,051.6816,000.00-12,948.3219.07%01-1818 · Field Management2,500.005,000.00-2,500.0050.0%01-1821 · Waterfall Maintenance0.005,000.00-59,400.0025.75%01-1824 · Streetlight Maintenance0.005,000.00-5,000.000.0%01-1826 · Holiday Lighting0.0011,000.00-11,000.000.0% | • | | | | |
| 01-1805 · Stormwater Mgt/Pipe Replacement 0.00 100,000.00 -100,000.00 0.0% 01-1812 · Signs 0.00 2,000.00 -2,000.00 0.0% 01-1814 · Electricity 23,656.08 85,000.00 -61,343.92 27.83% 01-1815 · Miscellaneous Maintenance 4,974.38 10,000.00 -5,025.62 49.74% 01-1816 · Telephone 3,429.85 12,500.00 -9,070.15 27.44% 01-1817 · Water & sewer 3,051.68 16,000.00 -12,948.32 19.07% 01-1818 · Field Management 2,500.00 5,000.00 -2,500.00 50.0% 01-1821 · Waterfall Maintenance 20,600.00 80,000.00 -59,400.00 25.75% 01-1824 · Streetlight Maintenance 0.00 5,000.00 -50,000.00 0.0% 01-1826 · Holiday Lighting 0.00 11,000.00 -11,000.00 0.0% | • | | | - | |
| 01-1812 · Signs0.002,000.00-2,000.000.0%01-1814 · Electricity23,656.0885,000.00-61,343.9227.83%01-1815 · Miscellaneous Maintenance4,974.3810,000.00-5,025.6249.74%01-1816 · Telephone3,429.8512,500.00-9,070.1527.44%01-1817 · Water & sewer3,051.6816,000.00-12,948.3219.07%01-1818 · Field Management2,500.005,000.00-2,500.0050.0%01-1821 · Waterfall Maintenance20,600.0080,000.00-59,400.0025.75%01-1824 · Streetlight Maintenance0.005,000.00-5,000.000.0%01-1826 · Holiday Lighting0.0011,000.00-11,000.000.0% | | | | - | |
| O1-1814 · Electricity 23,656.08 85,000.00 -61,343.92 27.83% 01-1815 · Miscellaneous Maintenance 4,974.38 10,000.00 -5,025.62 49.74% 01-1816 · Telephone 3,429.85 12,500.00 -9,070.15 27.44% 01-1817 · Water & sewer 3,051.68 16,000.00 -12,948.32 19.07% 01-1818 · Field Management 2,500.00 5,000.00 -2,500.00 50.0% 01-1821 · Waterfall Maintenance 20,600.00 80,000.00 -59,400.00 25.75% 01-1824 · Streetlight Maintenance 0.00 5,000.00 -5,000.00 0.0% 01-1826 · Holiday Lighting 0.00 11,000.00 -11,000.00 0.0% | | | - | - | |
| 01-1815 · Miscellaneous Maintenance4,974.3810,000.00-5,025.6249.74%01-1816 · Telephone3,429.8512,500.00-9,070.1527.44%01-1817 · Water & sewer3,051.6816,000.00-12,948.3219.07%01-1818 · Field Management2,500.005,000.00-2,500.0050.0%01-1821 · Waterfall Maintenance20,600.0080,000.00-59,400.0025.75%01-1824 · Streetlight Maintenance0.005,000.00-5,000.000.0%01-1826 · Holiday Lighting0.0011,000.00-11,000.000.0% | - | | , | - | |
| 01-1816 · Telephone3,429.8512,500.00-9,070.1527.44%01-1817 · Water & sewer3,051.6816,000.00-12,948.3219.07%01-1818 · Field Management2,500.005,000.00-2,500.0050.0%01-1821 · Waterfall Maintenance20,600.0080,000.00-59,400.0025.75%01-1824 · Streetlight Maintenance0.005,000.00-5,000.000.0%01-1826 · Holiday Lighting0.0011,000.00-11,000.000.0% | - | | | - | |
| 01-1817 · Water & sewer 3,051.68 16,000.00 -12,948.32 19.07% 01-1818 · Field Management 2,500.00 5,000.00 -2,500.00 50.0% 01-1821 · Waterfall Maintenance 20,600.00 80,000.00 -59,400.00 25.75% 01-1824 · Streetlight Maintenance 0.00 5,000.00 -5,000.00 0.0% 01-1826 · Holiday Lighting 0.00 11,000.00 -11,000.00 0.0% | | | - | | |
| 01-1818 · Field Management 2,500.00 5,000.00 -2,500.00 50.0% 01-1821 · Waterfall Maintenance 20,600.00 80,000.00 -59,400.00 25.75% 01-1824 · Streetlight Maintenance 0.00 5,000.00 -5,000.00 0.0% 01-1826 · Holiday Lighting 0.00 11,000.00 -11,000.00 0.0% | - | | | | |
| 01-1821 · Waterfall Maintenance 20,600.00 80,000.00 -59,400.00 25.75% 01-1824 · Streetlight Maintenance 0.00 5,000.00 -5,000.00 0.0% 01-1826 · Holiday Lighting 0.00 11,000.00 -11,000.00 0.0% | 01-1818 · Field Management | 2,500.00 | | -2,500.00 | 50.0% |
| 01-1824 · Streetlight Maintenance 0.00 5,000.00 -5,000.00 0.0% 01-1826 · Holiday Lighting 0.00 11,000.00 -11,000.00 0.0% | _ | | | -59,400.00 | |
| 01-1826 · Holiday Lighting 0.00 11,000.00 -11,000.00 0.0% | 01-1824 · Streetlight Maintenance | 0.00 | 5,000.00 | -5,000.00 | |
| 01-1829 · Monument Maintenance 0.00 6,000.00 -6,000.00 0.0% | _ | 0.00 | 11,000.00 | -11,000.00 | 0.0% |
| | 01-1829 · Monument Maintenance | 0.00 | 6,000.00 | -6,000.00 | 0.0% |

Walnut Creek Community Development District Budget vs. Actual October through December 2024

| | Oct - Dec 24 | 24/25 Budget | \$ Over Budget | % of Budget |
|---|--------------|--------------|----------------|-------------|
| 01-1835 · Pressure Clean & Paint Ext Strc | 0.00 | 14,000.00 | -14,000.00 | 0.0% |
| 01-1839 · Iguana Removal Services | 6,725.01 | 27,000.00 | -20,274.99 | 24.91% |
| 01-1840 · Headwall Stabilization Project | 0.00 | 50,000.00 | -50,000.00 | 0.0% |
| 01-1841 · Lake Slope Soil Maintenance | 0.00 | 10,000.00 | -10,000.00 | 0.0% |
| 01-1842 · S-8 Canal Reconstructn-Eng Dsgn | 0.00 | 240,000.00 | -240,000.00 | 0.0% |
| 01-1844 · Security Services Admin | 3,300.00 | 35,100.00 | -31,800.00 | 9.4% |
| 01-1845 · Security Video Surv. & Virtual | 10,019.34 | 35,000.00 | -24,980.66 | 28.63% |
| 01-1899 · Operating Maint Resrve/Contngcy | 0.00 | 24,000.00 | -24,000.00 | 0.0% |
| 01-2311 · Operations Management | 3,000.00 | 12,000.00 | -9,000.00 | 25.0% |
| Total Expense | 234,724.23 | 1,483,781.00 | -1,249,056.77 | 15.82% |
| Net Income | 990,260.58 | 0.00 | 990,260.58 | 100.0% |

Walnut Creek Community Development District Check Register October 2024 - December 2024

| Date | Vendor | Amount |
|------------|--|---|
| 10/1/2024 | Comcast (Voice 8931) | 179.90 |
| 10/2/2024 | | 1,465.00 |
| 10/2/2024 | Billing, Cochran, Lyles, Mauro & Ramsey | 3,145.00 |
| 10/2/2024 | Blue Iguana Pest Control Inc | 2,241.67 |
| 10/2/2024 | Comcast (8939) | 848.53 |
| 10/2/2024 | Comcast (9044) | 428.99 |
| 10/2/2024 | Craig A Smith & Associates LLC | 8,856.00 |
| 10/2/2024 | Crystal Pool Service Inc | 4,650.00 |
| 10/2/2024 | Cutters Edge Cutters Edge Lawn and Mainte | 3,390.00 |
| 10/2/2024 | Egis Insurance and & Risk Advisors | 21,894.00 |
| 10/2/2024 | FPL | 8,265.03 |
| 10/2/2024 | Pressure Cleaning Man Inc. | 4,635.00 |
| 10/2/2024 | Regions Security | 4,499.00 |
| 10/2/2024 | Shekinah Fence Services LLC | 2,565.00 |
| 10/2/2024 | Special District Services | 13,735.01 |
| 10/2/2024 | Tirone Electric | 440.00 |
| 10/4/2024 | Allstate Resource Management, Inc. | 2,960.00 |
| 10/4/2024 | City of Pembroke Pine (536647-248299) | 185.36 |
| 10/4/2024 | City of Pembroke Pines (536645-248297) | 47.87 |
| 10/4/2024 | City of Pembroke Pines (536646-248298) | 202.54 |
| 10/4/2024 | Crystal Springs | 166.38 |
| 10/4/2024 | Elite Property Service & Painting Corp | 4,200.00 |
| 10/4/2024 | Regions Security | 23,449.24 |
| 10/11/2024 | Traffic Cones for Less | 643.50 |
| | 10/1/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/2/2024 10/4/2024 10/4/2024 10/4/2024 | 10/1/2024Comcast (Voice 8931)10/2/2024Allstate Resource Management, Inc.10/2/2024Billing, Cochran, Lyles, Mauro & Ramsey10/2/2024Blue Iguana Pest Control Inc10/2/2024Comcast (8939)10/2/2024Comcast (9044)10/2/2024Craig A Smith & Associates LLC10/2/2024Crystal Pool Service Inc10/2/2024Cutters Edge Cutters Edge Lawn and Mainte10/2/2024Egis Insurance and & Risk Advisors10/2/2024Pressure Cleaning Man Inc.10/2/2024Special District Services LLC10/2/2024Special District Services10/2/2024City of Pembroke Pine (536647-248299)10/4/2024City of Pembroke Pines (536645-248297)10/4/2024City of Pembroke Pines (536646-248298)10/4/2024City of Pembroke Pines (536646-248298)10/4/2024Elite Property Service & Painting Corp10/4/2024Elite Property Service & Painting Corp |

Walnut Creek Community Development District Check Register October 2024 - December 2024

| Reference # | Date | Vendor | Amount |
|-------------|------------|--|------------|
| 11-1 | 11/1/2024 | Comcast (Voice 8931) | 180.18 |
| 11-2 | 11/1/2024 | SunSentinel | 165.44 |
| 11-3 | 11/4/2024 | Allstate Resource Management, Inc. | 2,960.00 |
| 11-4 | 11/4/2024 | Amazon Capital Services | 209.93 |
| 11-5 | 11/4/2024 | Blue Iguana Pest Control Inc | 2,241.67 |
| 11-6 | 11/4/2024 | City of Pembroke Pine (536647-248299) | 339.08 |
| 11-7 | 11/4/2024 | City of Pembroke Pines (536645-248297) | 131.59 |
| 11-8 | 11/4/2024 | City of Pembroke Pines (536646-248298) | 259.48 |
| 11-9 | 11/4/2024 | Comcast (8939) | 823.27 |
| 11-10 | 11/4/2024 | Comcast (9044) | 823.27 |
| 11-11 | 11/4/2024 | Craig A Smith & Associates LLC | 2,405.00 |
| 11-12 | 11/4/2024 | Crystal Pool Service Inc | 4,650.00 |
| 11-13 | 11/4/2024 | Elite Property Service & Painting Corp | 850.00 |
| 11-14 | 11/4/2024 | Florida Commerce | 175.00 |
| 11-15 | 11/4/2024 | FPL | 7,907.16 |
| 11-16 | 11/4/2024 | KJC FUMIGATION LLC | 140.00 |
| 11-17 | 11/4/2024 | Regions Security | 27,556.26 |
| 11-18 | 11/4/2024 | Richie Rich Services LLC | 284.00 |
| 11-19 | 11/4/2024 | Special District Services | 5,904.53 |
| 11-20 | 11/4/2024 | Tirone Electric | 360.00 |
| 11-21 | 11/4/2024 | Walnut Creek Community Association, Inc. | 2,500.00 |
| 11-22 | 11/19/2024 | Billing, Cochran, Lyles, Mauro & Ramsey | 6,170.00 |
| 11-23 | 11/19/2024 | Craig A Smith & Associates LLC | 3,135.00 |
| 11-24 | 11/19/2024 | Crystal Pool Service Inc | 4,650.00 |
| 11-25 | 11/19/2024 | KJC FUMIGATION LLC | 140.00 |
| 11-26 | 11/19/2024 | Landshore Enterprises LLC | 750.00 |
| 11-27 | 11/19/2024 | Regions Security | 5,139.78 |
| 12-1 | 12/5/2024 | Blue Iguana Pest Control Inc | 2,241.67 |
| 12-2 | 12/5/2024 | Broward County Property Appraiser | 1,790.00 |
| 12-3 | 12/5/2024 | City of Pembroke Pine (536647-248299) | 1,019.14 |
| 12-4 | 12/5/2024 | City of Pembroke Pines (536645-248297) | 50.42 |
| 12-5 | 12/5/2024 | City of Pembroke Pines (536646-248298) | 448.80 |
| 12-6 | 12/5/2024 | Comcast (8939) | 394.02 |
| 12-7 | 12/5/2024 | Comcast (9044) | 429.28 |
| 12-8 | 12/5/2024 | Comcast (Voice 8931) | 180.18 |
| 12-9 | 12/5/2024 | Crystal Pool Service Inc | 1,950.00 |
| 12-10 | 12/5/2024 | Crystal Springs | 69.93 |
| 12-11 | 12/5/2024 | Earth Advisors Inc | 4,095.00 |
| 12-12 | 12/5/2024 | Felix Cleaning Service LLC | 4,700.00 |
| 12-13 | 12/5/2024 | FPL . | 7,707.65 |
| 12-14 | 12/5/2024 | Regions Security | 28,855.98 |
| 12-15 | 12/5/2024 | Shekinah Fence Services LLC | 1,756.00 |
| 12-16 | 12/5/2024 | Special District Services | 6,180.05 |
| | | TOTAL | 255,811.78 |

| | Date Num | Name | Memo | Amount |
|--------------------------------------|----------------------------|---|--|-----------|
| Expenditures | Bute Hum | Namo | inonio | Allount |
| 01-1307 · Payroll tax expense | | | | |
| | 10/18/2024 PR 10/15/24 | | mtg 10/15/24 PR 10/21/24 (Levenson, Ross, Beckman, Kagan, Fateyev) | 76.50 |
| Total 01-1307 · Payroll tax expense | 10/10/2024 111 10/10/24 | | | 76.50 |
| 01-1308 · Supervisor Fees | | | | 70.00 |
| | 10/18/2024 PR 10/15/24 | | mtg 10/15/24 PR 10/21/24 (Levenson, Ross, Beckman, Kagan, Fateyev) | 1,000.00 |
| Total 01-1308 · Supervisor Fees | 10/10/2024 111 10/10/24 | | | 1,000.00 |
| 01-1310 · Engineering | | | | 1,000.00 |
| or-roro Engineering | 10/31/2024 CASA-INV-002417 | Craig A Smith & Associates LLC | professional services thru 10/31/2024 | 3,135.00 |
| | 11/30/2024 CASA-INV-002417 | Craig A Smith & Associates LLC | professional services thru 11/30/2024 | 845.00 |
| Total 01-1310 · Engineering | | | | 3,980.00 |
| 01-1311 · Management Fees | | | | 3,900.00 |
| | 10/31/2024 2024-1455 | Special District Services | Management fee - October 2024 | 4.213.00 |
| | 11/30/2024 2024-1588 | Special District Services | Management fee - November 2024 | 4,213.00 |
| | 12/31/2024 2024-1817 | Special District Services | Management fee - December 2024 | 4,213.00 |
| Total 01-1311 · Management Fees | 12/3/12024 2024-1017 | openal District Gervices | | 12.639.00 |
| 01-1315 · Legal Fees | | | | 12,039.00 |
| 01-1315 · Legal Fees | 10/31/2024 190280 | Billing, Cochran, Lyles, Mauro & Ramsey | legal fees thru 10/31/2024 | 3,077.50 |
| | 11/30/2024 190789 | Billing, Cochran, Lyles, Mauro & Ramsey | legal fees thru 11/30/2024 | 500.00 |
| Total 01-1315 · Legal Fees | 11/30/2024 130/03 | Dining, Oochian, Lyics, Madro & Ramsey | | 3,577.50 |
| 01-1450 · Insurance | | | | 3,377.30 |
| | 10/01/2024 25436 | Egis Insurance and & Risk Advisors | policy #100124507 10/1/24 - 10/1/25 | 21,894.00 |
| Total 01-1450 · Insurance | 10/01/2024 23430 | | policy #100124307 10/1/24 - 10/1/23 | 21,894.00 |
| 01-1512 · Miscellaneous | | | | 21,094.00 |
| 01-1512 · Miscellaneous | 10/18/2024 PR 10/15/24 | | mtg 10/15/24 PR 10/21/24 (Levenson, Ross, Beckman, Kagan, Fateyev) | 53.75 |
| | 10/13/2024 PK 10/15/24 | Special District Services | document storage | 89.68 |
| | 10/31/2024 2024-1455 | Special District Services | travel | 225.76 |
| | 10/31/2024 2024-1455 | Broward County Property Appraiser | annual property appraiser fee 24/25 | 1,790.00 |
| | 11/30/2024 2024-1588 | Special District Services | document storage | 89.68 |
| | 11/30/2024 2024-1588 | Special District Services | travel | 309.12 |
| | 12/31/2024 2024-1817 | Special District Services | document storage | 89.68 |
| | 12/31/2024 2024-1817 | Special District Services | travel | 135.68 |
| Total 01-1512 · Miscellaneous | 12/3/12024 2024-1017 | openal District Gervices | | 2,783.35 |
| Total 01-1312 * Miscellaneous | | | | 2,703.33 |
| 01-1513 · Postage and Delivery | | | | |
| on-nono in ostage and benvery | 10/31/2024 2024-1455 | Special District Services | FedEx | 118.17 |
| | 10/31/2024 2024-1455 | Special District Services | FedEx | 171.69 |
| | 11/30/2024 2024-1588 | Special District Services | postage | 10.33 |
| | 12/31/2024 2024-1817 | Special District Services | FedEx | 5.06 |
| Total 01-1513 · Postage and Delivery | 12/01/2027 2027 101/ | | I GUEX | 305.25 |
| Total 01-1010 - FUStage and Delivery | | | | 303.25 |

| | Date Num | Name | Memo | Amount |
|--|------------------------|--|--|-----------|
| | | | | |
| 01-1514 · Office Supplies | | | | |
| | 10/18/2024 13GX-HG7W-X | 61W Amazon Capital Services | Olympus digital recorder and carrying case | 161.97 |
| | 10/19/2024 1MKN-TMPG-1 | 9HR Amazon Capital Services | padlocks | 47.96 |
| | 10/31/2024 2024-1455 | Special District Services | copier charges | 43.20 |
| | 11/30/2024 2024-1588 | Special District Services | copier charges | 188.40 |
| | 11/30/2024 2024-1588 | Special District Services | meeting books | 28.00 |
| | 12/31/2024 2024-1817 | Special District Services | copier charges | 3.15 |
| Total 01-1514 · Office Supplies | | | | 472.68 |
| 01-1540 · Dues, License & Subscriptions | | | | |
| | 10/01/2024 90567 | Florida Commerce | special district fee FY 24/25 | 175.00 |
| Total 01-1540 · Dues, License & Subscriptions | | | | 175.00 |
| 01-1550 · Trustee Fees (GF) | | | | |
| | 11/18/2024 42727 | Hancock Bank (Trustee Fee) | trustee fee 01/01/2025 - 12/31/2025 | 1,420.00 |
| Total 01-1550 · Trustee Fees (GF) | | | | 1,420.00 |
| 01-1570 · Website Management | | | | |
| - | 10/31/2024 2024-1455 | Special District Services | website fee | 166.66 |
| | 11/30/2024 2024-1588 | Special District Services | website fee | 166.66 |
| | 12/31/2024 2024-1817 | Special District Services | website fee | 166.66 |
| Total 01-1570 · Website Management | | | | 499.98 |
| 01-1601 · Security Services & Rover | | | | |
| | 10/31/2024 33064 | Regions Security | security and rover services October 2024 | 20,994.98 |
| | 11/30/2024 33351 | Regions Security | Security and Rover services November 2024 | 20,978.24 |
| | 12/15/2024 33570 | Regions Security | SECURITY & ROVER SERVICES - December 2024 | 21,677.68 |
| Total 01-1601 · Security Services & Rover | | <i>. . .</i> | | 63,650.90 |
| | | | | |
| 01-1604 · Guardhouse Int/Ext Maintenance | | | | |
| | 10/03/2024 1080048 | Traffic Cones for Less | traffic delineators | 643.50 |
| | 10/16/2024 1939 | Elite Property Service & Painting Corp | remove bracket, patch holes, paint | 850.00 |
| | 10/16/2024 58581 | Tirone Electric | troubleshoot lights by Taft St entrance pavilion | 360.00 |
| | 10/18/2024 25068 | Richie Rich Services LLC | AC service at guardhouse | 284.00 |
| | 10/31/2024 2024-1455 | Special District Services | guardhouse light bulbs | 48.06 |
| | 11/07/2024 156225 | KJC FUMIGATION LLC | bi monthly pest control | 140.00 |
| | 11/13/2024 4402 | Shekinah Fence Services LLC | REPAIR FENCE SECTIONS BROKEN ALONG NW 72 AVE | 1,756.00 |
| | 11/30/2024 2024-1588 | Special District Services | fence gate chain | 3.17 |
| Total 01-1604 · Guardhouse Int/Ext Maintenance | | | | 4,084.73 |

| | Date | Num | Name | Мето | Amount |
|--|------------------|----------------|----------------------|--|-----------|
| | | | | | |
| | | | | | |
| 01-1605 · Gate System Maintenance | | | | | |
| ······ | 10/01/2024 32688 | Regions Secur | ity | Oct 2024 gate maintenance contract | 825.00 |
| | 10/29/2024 32997 | Regions Secur | • | Taft Street Resident Lane Sign 24" x 18" Reflective Aluminum | 250.00 |
| | 11/01/2024 33025 | Regions Secur | ity | SECURITY GATE SYSTEM MAINTENANCE & REPAIRS nOV 24 | 825.00 |
| | 11/06/2024 33091 | Regions Secur | ity | Taft resident 2nd arm remount 10/22 7:10 pm | 225.00 |
| | 11/06/2024 33089 | Regions Secur | ity | hurricane arm swing gates removal and remount | 600.00 |
| | 11/06/2024 33090 | Regions Secur | ity | Sheridan left exit arm remount 10/16 1:15 pm | 300.00 |
| | 11/07/2024 33095 | Regions Secur | ity | SECURITY GATE SYSTEM MAINTENANCE & REPAIRS | 810.00 |
| | 11/11/2024 33173 | Regions Secur | ity | Sheridan entrance repair 10/18/24 | 300.00 |
| | 11/11/2024 33170 | Regions Secur | ity | Sheridan left exit arm barrier remount 11/9/24 12:05 pm | 225.00 |
| | 11/15/2024 33201 | Regions Secur | ity | Sheridan left exit are remount 10/15 4:35 pm | 150.00 |
| | 11/15/2024 33202 | Regions Secur | ity | virtual guard remote gate control - 4 gate motors | 3,512.00 |
| | 12/01/2024 33321 | Regions Secur | ity | SECURITY GATE SYSTEM MAINTENANCE & REPAIRS - December 2024 | 825.00 |
| | 12/01/2024 33322 | Regions Secur | ity | SECURITY ONLINE SOLUTIONS - December 2024 | 1,090.00 |
| | 12/04/2024 33442 | Regions Secur | ity | 1 CLICK2ENTER SYSTEM PROJECT ON TAFT AND SHERIDAN | 12,675.00 |
| | 12/09/2024 33457 | Regions Secur | ity | Sheridan entrance gate loop replacement | 1,890.00 |
| | 12/10/2024 33458 | Regions Secur | ity | Installation of new LED kit for Taft resident 2nd arm | 525.00 |
| Total 01-1605 · Gate System Maintenance | | | | | 25,027.00 |
| 01-1609 · Security Cameras & Maintenance | | | | | |
| - | 10/01/2024 32823 | Regions Secur | ity | video maintenance services | 274.00 |
| | 11/01/2024 33027 | Regions Secur | ity | SECURITY CAMERAS & MAINTENANCE | 274.00 |
| | 12/01/2024 33323 | Regions Secur | ity | SECURITY CAMERAS & MAINTENANCE - December 2024 | 274.00 |
| Total 01-1609 · Security Cameras & Maintenance | | | | | 822.00 |
| 01-1610 · Security Online Solutions | | | | | |
| | 10/01/2024 32796 | Regions Secur | ity | Oct 2024 SOS app subscription | 1,090.00 |
| | 11/01/2024 33026 | Regions Secur | ity | SECURITY ONLINE SOLUTIONS November 24 | 1,090.00 |
| Total 01-1610 · Security Online Solutions | | | | | 2,180.00 |
| 01-1803 · Lake & Preserve Maintenance | | | | | |
| | 10/01/2024 12027 | Allstate Resou | rce Management, Inc. | mitigation area maintenance and lake management | 2,960.00 |
| | 11/01/2024 12819 | Allstate Resou | rce Management, Inc. | mitigation area maintenance and lake management | 2,960.00 |
| | 12/01/2024 13578 | Allstate Resou | rce Management, Inc. | mitigation area maintenance and lake management | 2,960.00 |
| Total 01-1803 · Lake & Preserve Maintenance | | | | | 8,880.00 |

| | Date Nu | m Nai | ne Memo | Amount |
|---|-----------------------|--------------------------|--|-----------|
| | | | | |
| | | | | |
| 01-1814 · Electricity | | | | |
| | 10/18/2024 54061-4302 | 23 1024 FPL | acct# 54061-43023 (09/18/24 - 10/18/24) | 100.93 |
| | 10/18/2024 63714-0900 | 01 1024 FPL | acct# 63714-09001 (09/18/24 - 10/18/24) | 31.63 |
| | 10/18/2024 63522-3402 | 22 1024 FPL | acct# 63522-34022 (09/18/24 - 10/18/24) | 329.82 |
| | 10/18/2024 04574-7202 | 25 1024 FPL | acct# 04574-72025 (09/18/24 - 10/18/24) | 443.35 |
| | 10/18/2024 91603-8302 | 23 1024 FPL | acct# 91603-83023 (09/18/24 - 10/18/24) | 1,029.03 |
| | 10/18/2024 36358-7136 | 65 1024 FPL | acct# 36358-71365 (09/18/24 - 10/18/24) | 5,972.40 |
| | 11/18/2024 54061-4302 | 23 1124 FPL | acct# 54061-43023 (10/18/24 - 11/18/24) | 91.94 |
| | 11/18/2024 04574-7202 | 25 1124 FPL | acct# 04574-72025 (10/18/24 - 11/18/24) | 421.20 |
| | 11/18/2024 63714-0900 |)1 1124 FPL | acct# 63714-09001 (10/18/24 - 11/18/24) | 32.10 |
| | 11/18/2024 91603-8302 | 23 1124 FPL | acct# 91603-83023 (10/18/24 - 11/18/24) | 1,113.91 |
| | 11/18/2024 36358-7136 | 65 1124 FPL | acct# 36358-71365 (10/18/24 - 11/18/24) | 5,972.40 |
| | 11/18/2024 63522-3402 | 22 1124 FPL | acct# 63522-34022 (10/18/24 - 11/18/24) | 76.10 |
| | 12/18/2024 36358-7136 | 5 1224 FPL | acct# 36358-71365 (11/18/24 - 12/18/24) | 5,972.40 |
| | 12/18/2024 54061-4302 | | acct# 54061-43023 (11/18/24 - 12/18/24) | 75.86 |
| | 12/18/2024 91603-8302 | | acct# 91603-83023 (11/18/24 - 12/18/24) | 1.114.11 |
| | 12/18/2024 04574-7202 | | acct# 04574-72025 (11/18/24 - 12/18/24) | 369.22 |
| | 12/18/2024 63522-3402 | | acct# 63522-34022 (11/18/24 - 12/18/24) | 475.35 |
| | 12/18/2024 63714-0900 | | acct# 63714-09001 (11/18/24 - 12/18/24) | 34.33 |
| Total 01-1814 · Electricity | | | (,, | 23.656.08 |
| 01-1815 · Miscellaneous Maintenance | | | | 23,030.00 |
| | 10/17/2024 101724-01 | Earth Advisors Inc | completion of landscape audit and report | 4,095.00 |
| | 11/12/2024 2122 | Landshore Enterprises | | 750.00 |
| | 11/20/2024 21393886 1 | | water for guardhouse | 69.93 |
| | 12/18/2024 21393886 1 | | water for guardhouse | 59.45 |
| Total 01-1815 · Miscellaneous Maintenance | | | | 4,974.38 |
| 01-1816 · Telephone | | | | 4,074.00 |
| | 10/11/2024 8495 75 10 | 0 0519044 Comcast (9044) | acct# 8495751000519044 (10/15/24 - 11/14/24) | 823.27 |
| | | 0 0518939 Comcast (8939) | acct# 8495751000518939 (10/15/24 - 11/14/24) | 823.27 |
| | 10/15/2024 220522511 | Comcast (Voice 8931) | acct# 904688931 inv# 220522511 | 180.18 |
| | | , , | | 394.02 |
| | | 0 0518939 Comcast (8939) | acct# 8495751000518939 (11/15/24 - 12/14/24) | |
| | | 0 0519044 Comcast (9044) | acct# 8495751000519044 (11/15/24 - 12/14/24) | 429.28 |
| | 11/15/2024 223093833 | Comcast (Voice 8931) | acct# 904688931 inv# 223093833 | 180.18 |
| | | 0 0519044 Comcast (9044) | acct# 8495751000518939 (12/15/24 - 01/14/25) | 419.47 |
| | 12/15/2024 227241889 | Comcast (Voice 8931) | acct# 904688931 inv# 227241889 | 180.18 |
| Total 01-1816 · Telephone | | | | 3,429.85 |

| 102/1020 4 S004/2 42007 Cy or Permense Press (2004/2 42007) 001 NV 70 Ave V (0010/24 - 1017/24) 20 400 11/20204 2 5004/2 42020 Cy or Permense Press (3004/2 4200) 001 NV 70 Ave V (0010/24 - 1017/24) 503 11/20204 5 5004/2 42020 Cy or Permense Press (3004/2 4200) E00 NV 70 Ave V (0107/24 - 110120) 504 11/20204 5 5004/2 42020 Cy or Permense Press (3004/2 4200) E00 NV 70 Ave W (111124) - 111120) 2017/24 11/20204 5 5004/2 42020 Cy or Permense Press (3004/2 4200) E00 NV 70 Ave W (111124) - 1217/20) 2017/24 Total 2014 5824 542020 Cy or Permense Press (3004/2 4200) E00 NV 70 Ave W (111124) - 1217/20) 2017/24 Total 2014 582 42020 Cy of Permense Press (3004/2 4200) End Secondary MV 70 Ave (111124) - 1217/20) 2017/24 Total 2014 2024 2024 2024 2024 Sy and Density Secondary MV 70 Ave (111124) - 1217/24) 2017/24 2017/24 | | Date Num | Name | Memo | Amount |
|--|--|----------------------------|--|--|------------|
| 102 (2020 358965 24297 CP) of Printoko Prang (55865-242897 001 W 73 AVE. (20172A) - 10172A) 33.06 102 (2020 35865 24287 CP) of Printoko Prang (55865-242897 000 W 73 Ave. (00172A) - 10172A) 33.06 102 (2020 35865 24287 CP) of Printoko Prang (55865-242897 000 W 73 Ave. (00172A) - 10172A) 33.06 11000204 35847-242893 CP) of Printoko Prang (55845-242893 000 W 73 Ave. (00172A) - 10172A) 44.86 11000204 35847-242893 CP) of Printoko Prang (55845-242893 000 W 73 Ave. (10172A) - 11172A) 20.47 11000204 35847-242893 CP) of Printoko Prang (55845-242897 000 W 73 Ave. (10172A) - 11172A) 20.47 12100204 35847-242893 CP) of Printoko Prang (55845-242897 000 W 73 Ave. (10172A) - 11172A) 20.47 12100204 35847-242893 CP) of Printoko Prang (55845-242897 000 W 73 Ave. (10172A) - 11172A) 20.47 12100204 3244483 CP) of Printoko Prang (55845-242897 000 W 73 Ave. (10172A) - 11172A) 20.47 12110204 2424458 Sepcial Diatici Savices folomatici savices analysinent 100000 12110204 2424458 Sepcial Diatici Savices folomatici savices analysinent 100000 12121 Vaterial Managament & Orysial Pra | 01-1817 · Water & sewer | | | | |
| 102:1203 65866 24829 102:1203 65866 24829 102:020 25866 24829 102:020 25865 24829 101:9202 2524 202225 101:9202 2524 20225 101:9202 2524 20225 101:9202 42024 2024 2025 101:9202 42024 2024 101:9202 421519100 101:9202 421519100 101:9202 421519100 101:9202 421519100 101:9202 421519100 101:9204 421519102 101:9204 421519102 101:9204 421519102 101:9204 421519102 101:9204 421519102 101:9204 421519102 101:9204 421519102 101:9204 421519102 101:9204 421519102 | | 10/21/2024 536645 248297 | City of Pembroke Pines (536645-248297) | 1800 NW 76 AVE (09/16/24 - 10/17/24) | 131.59 |
| 102 1024 3054 05447-248200 (%) of Pennbook Penc (50847-248200) 000 NV 7 Ave E (001724 - 101724) 3300 Ave Packed Penc (50847-24820) 000 NV 7 Ave V (01724 - 1101924) 5444 11202024 538464 248208 (%) of Pennbook Penc (538467-248209) 100 NV 7 Ave V (01724 - 1101924) 101924 11212024 538464 248208 (%) of Pennbook Penc (538467-248209) 100 NV 7 Ave V (017124 - 1101924) 101924 11212024 538464 248208 (%) of Pennbook Penc (53847-248209) 100 NV 7 Ave V (111824 - 121724) 4800 11212024 53846 248208 (%) of Pennbook Penc (53847-248209) 100 NV 7 Ave V (111824 - 121724) 4800 11212024 53845 248209 (%) of Pennbook Penc (53847-248209) 100 NV 7 Ave V (111824 - 121724) 4800 10112024 2020125 Spacial Dainid Services 100 NV 7 Ave V (111824 - 121724) 4800 10112024 2021025 Spacial Dainid Services 160 openations management 5000 10112024 2021025 Spacial Dainid Services 160 openations management 100000 10112024 2021052 Spacial Dainid Services 1000000 2018000 10112024 2021052 Opptial Pon Sarvice In November zavice and secolations management 1000000 | | | • | | 259.48 |
| 11200204 58865 - 24820 Cly of Pankhox Panes (358645-24820) 1000 VV FA VE (101724 - 101824) 46.85 11200204 58865 43868 Cly of Pankhox Panes (35864-24828) 1000 VV FA ve (101724 - 101824) 46.85 11200204 58865 43868 Cly of Pankhox Panes (35864-24828) 1000 VV FA ve (101724 - 101824) 46.85 12190204 58865 43868 Cly of Pankhox Panes (35864-24828) 1000 VV FA ve (101724 - 101824) 59.42 12190204 58865 43887 Cly of Pankhox Panes (35864-24828) 1000 VV FA ve (1017024 - 101724) 59.42 12190204 58865 43887 Cly of Pankhox Panes (35864-24828) 1000 VV FA ve (1017024 - 101724) 59.42 12190204 23845 43887 Cly of Pankhox Panes (35864-24829) 1000 VV FA ve (1017024 - 121724) 59.45 10117024 1214-14155 Special Onicit Services Heid specialions management 100000 10117024 1214-14155 Special Onicit Services Heid specialions management 1000000 11210224 2214-1511 Special Onicit Services Heid specialions management 1000000 11210224 2214-1511 Gly class Services Heid specialions management 1000000 11210224 2214-1511 Gly class Services Novenininfer servi | | | • • • • • • | | 339.08 |
| 11/20/2014 56864 24828 City of Pentricus Pens (55864-24829) 100 NVT Ave W (101774 - 11/1874) 44.86 12/19/2014 56864-248280 City of Pentricus Pens (55864-24829) 100 NVT Ave W (11/19/24 - 12/1774) 327.73 12/19/2014 56864-248280 City of Pentricus Pens (55864-24829) 100 NVT Ave W (11/19/24 - 12/1774) 48.91 12/19/2014 56864-588297 City of Pentricus Pens (55864-24829) 100 NVT Ave W (11/19/24 - 12/1774) 48.91 12/19/2014 56864-588297 City of Pentricus Pens (55864-24829) 100 NVT Ave W (11/19/24 - 12/1774) 48.91 12/19/2014 56864-588297 City of Pentricus Pens (55864-24829) 100 NVT Ave W (11/19/24 - 12/1774) 48.91 10/16/2014 22/14/2015 Special District Services 114 paymetri for agreement bit District and association FV 2024/2025 2.500.00 10/10/2014 22/14/151 Special District Services 114 paymetri for agreement bit District and association FV 2024/2025 2.500.00 10/10/2014 21/151 City of Pentricus Pens (55864/24809) Intel Pentricus Pens (55864/24809) 1.000.00 10/10/2014 21/151 Special District Services Intel paymetrin service 1.000.00 10/10/2014 21/151 City of Pentricus Pens (55864/16) Otopic service <t< td=""><td></td><td>11/20/2024 536645 - 248297</td><td>•</td><td></td><td>50.42</td></t<> | | 11/20/2024 536645 - 248297 | • | | 50.42 |
| 12/19/2024 539647-248298 City of Penrtonice Prine (539494-248298) 1800 NW 76 Ave IV (111924 - 121724) 227.74 12/19/2024 536647-248299 City of Penrtonice Prine (539494-24829) 1800 NW 76 Ave IV (111924 - 121724) 485.01 12/19/2024 536647-248297 City of Penrtonice Prine (539494-24829) 1800 NW 76 Ave IV (111824 - 121724) 50.22 12/19/2024 536467-248297 Value Creek Community Association, here if any penrent for agreement BD (bit)til and association FY 20242025 2,500.00 10/15/2024 2024-1646 Special District Services field operations management if 0,00000 1000000 10/15/2024 2024-1646 Special District Services field operations management if 0,00000 1000000 10/15/2024 2024-1647 Special District Services field operations management if 0,00000 1000000 10/12/2024 2024-1648 Special District Services field operations management if 0,00000 1000000 10/12/2024 2024-1617 Special District Services field operations management if 0,00000 1000000 10/12/2024 2024-16181 Crystal Pool Service Inc November service 4650.00 10/12/2024 2014/1618 Crystal Pool Service Inc November service 4250.00 10/ | | 11/20/2024 536646 248298 | • • • • • • | | 448.80 |
| 12/19/2024 5/0 yr 0 Femtroke Piner (395647-242829) 100 NW 76 Ave E (11/19/24 - 12/17/24) 4850 12/19/2024 5/0 yr 0 Femtroke Piner (395647-242829) 100 NW 76 Ave E (11/19/24 - 12/17/24) 5/242 10.152/2024 5/0 yr 0 Femtroke Piner (395647-242829) 100 NW 76 Ave E (11/19/24 - 12/17/24) 5/242 10.152/2024 5/0 yr 0 Femtroke Piner (395647-24289) 100 NW 76 Ave E (11/19/24 - 12/17/24) 5/242 10.152/2024 5/0 yr 0 Femtroke Piner (395647-24289) 100 NW 76 Ave E (11/19/24 - 12/17/24) 5/242 10.152/2024 5/0 yr 0 Femtroke Piner (395647-24289) 100 NW 76 Ave E (11/19/24 - 12/17/24) 5/242 10.152/2024 5/24-1685 Special District Services feld operations management 1000000 10.10/2024 5/24-1685 Special District Services feld operations management 100000 10.10/2024 5/24-1681 Special District Services feld operations management 100000 10.11/2024 5/24-1681 Special District Services feld operations management 100000 10.11/2024 5/24-1681 Special District Services feld operations management 100000 10.1 | | 11/20/2024 536647-248299 | City of Pembroke Pine (536647-248299) | 1800 NW 76 Ave E (10/17/24 - 11/19/24) | 1,019.14 |
| 12/19/2024 530945 24207 City of Pembroko Pinos (530945-24207) 1800 NW 76 AVE (11/19/24 - 12/1724) 50.42 Total 01-1817 - Water & sowro 0 30.51 30.51 01-1818 - Field Management & Operations Mgt 10150204 2024/2025 Wahu Creek Community Association, Inc. 154 payment for agreement bD District and association FV 2024/2025 2.00000 10302024 2024-1858 Special District Services field operations management 100000 10302024 2024-1875 Special District Services field operations management 100000 10312024 2024-1875 Special District Services field operations management 1000000 10312024 2024-1875 Special District Services field operations management 1000000 101612024 2415181000 Crystal Pod Service Inc October service 4455000 11/17/2024 20024 2415181000 Crystal Pod Service Inc November repairs 405000 11/17/2024 20024 2415181000 Crystal Pod Service Inc November repairs 405000 11/17/2024 20024 215181100 Crystal Pod Service Inc November repairs 405000 11/17/2024 20024 215181100 Crystal Pod Service Inc November repairs | | 12/19/2024 536646-248298 | City of Pembroke Pines (536646-248298) | 1800 NW 76 Ave W (11/19/24 - 12/17/24) | 267.74 |
| Total 01-1817 Water & Sever 3,05188 B1-1513 Field Management & Operations Mgt 10/15/2024 2024/2025 Special District Services field operations management 1,0000.00 11/00/2024 2024-1588 Special District Services field operations management 1,0000.00 12/31/2024 2024-1588 Special District Services field operations management 1,0000.00 12/31/2024 2024-1588 Special District Services field operations management 1,0000.00 12/31/2024 2024-1588 Special District Services field operations management 1,0000.00 10/12/2024 241518100 Crystal Pool Service Inc October service 4,9550.00 11/31/2024 2024-winkn-1 Felx Cleaning Service Inc November service 4,9550.00 11/21/2024 2024-winkn-1 Felx Cleaning Service Inc December service 4,850.00 11/31/2024 2024-winkn-1 Felx Usama Pest Control Inc monitoring October 2024 2,2000.00 11/31/2024 2024 20158 Blue guana Pest Control Inc monitoring October 2024 2,2000.00 11/01/2024 170563 Blue guana Pest Control Inc monitoring Rovember 2024 2,2000.00 | | 12/19/2024 536647-248299 | City of Pembroke Pine (536647-248299) | 1800 NW 76 Ave E (11/19/24 - 12/17/24) | 485.01 |
| 01-838 - Field Management & Operations Mgt 100/5024 2024/2025 Maind: Creek Community Association, inc. It a payment for agreement bit District and association FY 2024/2025 2,000 00 100/30242 2024-1456 Special District Services field operations management 1,000000 100/30242 2024-1818 Special District Services field operations management 1,00000 Total 01-1818 - Field Management 00/12024 2415181000 Crystal Fool Service Inc October service 4,0000 1101/2024 2415181100 Crystal Fool Service Inc October service 4,0000 4,0000 1101/2024 2415181100 Crystal Fool Service Inc November service 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,00000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,0000 4,00000 4,0000 4,0000 <td></td> <td>12/19/2024 536645 248297</td> <td>City of Pembroke Pines (536645-248297)</td> <td>1800 NW 76 AVE (11/19/24 - 12/17/24)</td> <td>50.42</td> | | 12/19/2024 536645 248297 | City of Pembroke Pines (536645-248297) | 1800 NW 76 AVE (11/19/24 - 12/17/24) | 50.42 |
| 10142024 2024/025 Waint Creek Community Association, inc. if apprentif or agreement bit District and association FY 2024/2025 2,800.00 1031/2024 2024-1695 Special District Services field operations management 1,000.00 1031/2024 2024-1697 Special District Services field operations management 1,000.00 01421 - Waterfall Maintenance Crystal Pool Service Inc. November service 4,650.00 01102224 241518100 Crystal Pool Service Inc. November service 4,650.00 1101/2024 241518100 Crystal Pool Service Inc. November service 4,650.00 1101/2024 241518100 Crystal Pool Service Inc. November service 4,650.00 1101/2024 241518100 Crystal Pool Service Inc. November service 4,650.00 1101/2024 241518100 Crystal Pool Service Inc. November regrism 4,050.00 1101/2024 241518100 Crystal Pool Service Inc. November regrism 4,050.00 1101/2024 241518100 Crystal Pool Service Inc. November regrism 4,050.00 1101/2024 2415181200 Crystal Pool Service Inc. November regrism 2,000.00 1101/2024 215181200< | Total 01-1817 · Water & sewer | | | | 3,051.68 |
| 10/31/2024 2024-1455 Special District Services field operations management 10/00 00 11/30/2024 2024-1817 Special District Services field operations management 10/00 00 10/31/2024 2024-1817 Special District Services field operations management 0.000 00 01-1621 - Waterfall Maintenance 5500 00 5500 00 10/00 00 10/00 00 11/01/2024 2415181000 Crystal Pool Service Inc November service 4,650.00 11/01/2024 2415191000 Crystal Pool Service Inc November service 4,650.00 11/01/2024 2415191000 Crystal Pool Service Inc November service 4,650.00 11/01/2024 2415191000 Crystal Pool Service Inc November repars 1,650.00 11/01/2024 2415191000 Crystal Pool Service Inc November repars 4,650.00 11/01/2024 2415191000 Crystal Pool Service Inc November repars 4,650.00 11/01/2024 2415191000 Crystal Pool Service Inc November repars 4,650.00 11/01/2024 2415191000 Crystal Pool Service Inc November repars 4,650.00 10/1323 1/101/101/101/101/101/101/101/101/101/1 | 01-1818 · Field Management & Operations Mgt | | | | |
| In 001/0024 4024-1455 Special District Services field operations management 1000/00 1231/2024 2024-1817 Special District Services field operations management 1000/00 Total 01-1818 - Field Management Special District Services field operations management 1000/00 01-1821 - Waterfall Maintenance Special District Services October service 4650.00 1101/2024 2415181000 Crystal Pool Service Inc November service 4650.00 1101/2024 2415181000 Crystal Pool Service Inc November service 4650.00 1101/2024 2415181000 Crystal Pool Service Inc November rearies 20,000.00 1121/2024 2415181000 Crystal Pool Service Inc November repairs 4,000.00 1121/2024 2421518100 Crystal Pool Service Inc November repairs 20,000.00 101/2024 2421518100 Crystal Pool Service Inc November repairs 20,000.00 101/2024 2421518100 Crystal Pool Service Inc November repairs 20,000.00 101/2024 2421518100 Crystal Pool Service Inc November repairs 20,000.00 1001/2024 2425897 Blue Iguana Pest Control | | 10/15/2024 2024/2025 | Walnut Creek Community Association, Inc. | 1st payment for agreement b/t District and association FY 2024/2025 | 2,500.00 |
| 12312024 2024-1817 Special District Services field operations management 1.000.00 Total 01-1818 - Field Management 0 5.500.00 5.500.00 01-1821 - Waterfall Maintenance 1001/2024 2415181000 Crystal Pool Service Inc October service 4.650.00 1101/2024 2415191020 Crystal Pool Service Inc November service 4.650.00 1121/2024 2415191020 Crystal Pool Service Inc November repairs 4.650.00 1121/2024 2415191020 Crystal Pool Service Inc November repairs 4.650.00 1121/2024 2415191020 Crystal Pool Service Inc November repairs 4.650.00 1121/2024 2415191020 Crystal Pool Service Inc November repairs 4.650.00 1121/2024 2415191020 Crystal Pool Service Inc November repairs 4.650.00 1121/2024 2415191020 Crystal Pool Service Inc November repairs 4.650.00 1121/2024 2415191020 Crystal Pool Service Inc November repairs 4.650.00 1121/2024 216299 Blue Iguana Pest Control Inc monitoring October 2024 2.000.00 12011/2024 177666 Blue Iguana Pest Control Inc | | 10/31/2024 2024-1455 | | | 1,000.00 |
| 12312024 2024-1817 Special District Services field operations management 1.000.00 Total 01-1818 - Field Management 5.000.00 </td <td></td> <td>11/30/2024 2024-1588</td> <td>Special District Services</td> <td>field operations management</td> <td>1,000.00</td> | | 11/30/2024 2024-1588 | Special District Services | field operations management | 1,000.00 |
| 01-821 · Waterfall Maintenance 1001/2024 241518100 Crystal Pool Service Inc. October service 4,660.00 1101/2024 2415181100 Crystal Pool Service Inc. November service 4,660.00 1121/2024 2024-walnut-1 Felix Cleaning Service Inc. November service 4,660.00 1121/2024 2415191200 Crystal Pool Service Inc. November repairs 4,700.00 1121/2024 2415191200 Crystal Pool Service Inc. November repairs 4,660.00 Total 01-1821 · Waterfall Maintenance 0 0,79stal Pool Service Inc. November repairs 4,600.00 10112024 102997 Blue Iguana Pest Control Inc. monitoring October 2024 2,000.00 2,000.00 11001/2024 102999 Blue Iguana Pest Control Inc. monitoring November 2024 2,000.00 11001/2024 170568 Blue Iguana Pest Control Inc. monitoring December 2024 2,000.00 1201/2024 177406 Blue Iguana Pest Control Inc. monitoring December 2024 2,000.00 1201/2024 177406 Blue Iguana Pest Control Inc. monitoring December 2024 2,000.00 1201/2024 177406 Blue Iguana Pest Control Inc. monitoring December 2024 <td></td> <td>12/31/2024 2024-1817</td> <td>Special District Services</td> <td></td> <td>1,000.00</td> | | 12/31/2024 2024-1817 | Special District Services | | 1,000.00 |
| 01-1221 - Waterfall Maintenance 1001/2024 245161100 Crystal Pool Service Inc October service 4,650.00 11/21/2024 245161100 Crystal Pool Service Inc November service 4,650.00 11/21/2024 2451611200 Crystal Pool Service Inc November repairs 1,050.00 11/21/2024 2451611200 Crystal Pool Service Inc November repairs 4,000.00 11/21/2024 2451611200 Crystal Pool Service Inc November repairs 20,000.00 Total 01-1821 - Waterfall Maintenance 20,000.00 20,000.00 20,000.00 011329 - Iguana Removal Services 1001/2024 162997 Blue Iguana Pest Control Inc monitoring October 2024 20,000.00 1101/2024 170558 Blue Iguana Pest Control Inc monitoring November 2024 20,000.00 1101/2024 170568 Blue Iguana Pest Control Inc monitoring November 2024 20,000.00 1201/2024 177406 Blue Iguana Pest Control Inc monitoring November 2024 20,000.00 1201/2024 177406 Blue Iguana Pest Control Inc monitoring November 2024 20,000.00 1201/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 20,000.00 </td <td>Total 01-1818 · Field Management</td> <td></td> <td></td> <td></td> <td>5,500.00</td> | Total 01-1818 · Field Management | | | | 5,500.00 |
| 1101/2024 241518100 Cystal Pool Service Inc November service 4,650.00 11/21/2024 2415181000 Cystal Pool Service ILC Fling and compacting areas under and between waterfail node (as per agreement). 47,000.00 12/01/2024 2415181200 Cystal Pool Service Inc November repairs 4,650.00 01-1821 - Waterfall Maintenance 20,600.00 20,600.00 4,650.00 01-1839 - Iguana Removal Services 0101/2024 162997 Blue Iguana Pest Control Inc monitoring October 2024 20,600.00 11/01/2024 170568 Blue Iguana Pest Control Inc monitoring November 2024 241.67 10/01/2024 170568 Blue Iguana Pest Control Inc monitoring November 2024 240.00 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring November 2024 241.67 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring November 2024 241.67 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring November 2024 241.67 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring November 2024 241.67 11/01/2024 32809 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 | - | | | | -, |
| 1/01/2024 241518100 Crystal Pool Service Inc November service 4,650.00 1/12/12024 2415181000 Crystal Pool Service ILC Fling and compacting areas under and between waterfall incide (ap per agreement). 4,600.00 1/12/12024 2415181200 Crystal Pool Service Inc November repairs 20,600.00 1/12/12024 2415181200 Crystal Pool Service Inc December service 20,600.00 01-1821 · Waterfall Maintenance 1001/2024 182997 Blue Iguana Pest Control Inc monitoring October 2024 241,67 1001/2024 182999 Blue Iguana Pest Control Inc monitoring November 2024 20,000.00 11/01/2024 170568 Blue Iguana Pest Control Inc monitoring November 2024 20,000.00 11/01/2024 177406 Blue Iguana Pest Control Inc monitoring November 2024 20,000.00 11/01/2024 177406 Blue Iguana Pest Control Inc monitoring November 2024 20,000.00 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring November 2024 20,000.00 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring November 2024 20,000.00 12/01/2024 3250 Regions Security SECURITY ADMINISTRATIVE S | | 10/01/2024 2415181000 | Crystal Pool Service Inc | October service | 4,650.00 |
| 11/21/2024 2415191200 Crystal Pool Service Inc Norember repairs 1,950,00 12/01/2024 2415191200 Crystal Pool Service Inc December service 4,650,00 01-1829 - Iguana Removal Services 1001/2024 162997 Blue Iguana Pest Control Inc monitoring October 2024 241,67 10/01/2024 162999 Blue Iguana Pest Control Inc monitoring October 2024 241,67 10/01/2024 170558 Blue Iguana Pest Control Inc monitoring November 2024 241,67 11/01/2024 170563 Blue Iguana Pest Control Inc monitoring December 2024 2,000,00 12/01/2024 177466 Blue Iguana Pest Control Inc monitoring December 2024 2,000,00 12/01/2024 177466 Blue Iguana Pest Control Inc monitoring December 2024 2,000,00 12/01/2024 177466 Blue Iguana Pest Control Inc monitoring December 2024 2,000,00 12/01/2024 177466 Blue Iguana Pest Control Inc monitoring December 2024 2,000,00 10/01/2024 22689 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,100,00 11/01/2024 33325 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,300,00 <td></td> <td>11/01/2024 2415181100</td> <td>•</td> <td>November service</td> <td>4,650.00</td> | | 11/01/2024 2415181100 | • | November service | 4,650.00 |
| 11/21/2024 2415191200 Crystal Pool Service Inc Norember repairs 1,950,00 12/01/2024 2415191200 Crystal Pool Service Inc December service 4,650,00 01-1829 - Iguana Removal Services 1001/2024 162997 Blue Iguana Pest Control Inc monitoring October 2024 241,67 10/01/2024 162999 Blue Iguana Pest Control Inc monitoring October 2024 241,67 10/01/2024 170558 Blue Iguana Pest Control Inc monitoring November 2024 241,67 11/01/2024 170563 Blue Iguana Pest Control Inc monitoring December 2024 2,000,00 12/01/2024 177466 Blue Iguana Pest Control Inc monitoring December 2024 2,000,00 12/01/2024 177466 Blue Iguana Pest Control Inc monitoring December 2024 2,000,00 12/01/2024 177466 Blue Iguana Pest Control Inc monitoring December 2024 2,000,00 12/01/2024 177466 Blue Iguana Pest Control Inc monitoring December 2024 2,000,00 10/01/2024 22689 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,100,00 11/01/2024 33325 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,300,00 <td></td> <td>11/21/2024 2024-walnut-1</td> <td>Felix Cleaning Service LLC</td> <td>Filling and compacting areas under and between waterfall rocks (as per agreement).</td> <td>4,700.00</td> | | 11/21/2024 2024-walnut-1 | Felix Cleaning Service LLC | Filling and compacting areas under and between waterfall rocks (as per agreement). | 4,700.00 |
| Total 01-1821 · Waterfall Maintenance 20,600.00 01-1833 · Iguana Removal Services 1001/2024 162997 Blue Iguana Pest Control Inc monitoring October 2024 240.67 10/01/2024 162999 Blue Iguana Pest Control Inc monitoring November 2024 2000.00 11/01/2024 170563 Blue Iguana Pest Control Inc monitoring November 2024 241.67 11/01/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 241.67 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 241.67 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 241.67 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 241.67 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 241.67 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 241.67 10/01/2024 30209 Regions Security Gr7251 67.7551 01/01/2024 30202 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,100.00 12/01/2024 3325 Regions Security | | 11/21/2024 2415191200 | Crystal Pool Service Inc | November repairs | 1,950.00 |
| 01-1839 - Iguana Removal Services 10/01/2024 162997 Blue Iguana Pest Control Inc monitoring October 2024 241.67 10/01/2024 162999 Blue Iguana Pest Control Inc monitoring October 2024 2.000.00 11/01/2024 170558 Blue Iguana Pest Control Inc monitoring November 2024 2.000.00 11/01/2024 170558 Blue Iguana Pest Control Inc monitoring November 2024 2.000.00 11/01/2024 177056 Blue Iguana Pest Control Inc monitoring December 2024 2.000.00 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 2.000.00 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 2.000.00 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 2.000.00 10/01/2024 32689 Regions Security Monitoring December 2024 1.000.00 10/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1.100.00 10/01/2024 33029 Regions Security SECURITY VIDEO SURVELLANCE & VIRTUAL GUARD SERVICES 3.397.78 10/01/2024 33029 Regions Security SECURITY VIDEO SURVELLANCE & VIRTUAL GUARD SERVICES< | | 12/01/2024 2415181200 | Crystal Pool Service Inc | December service | 4,650.00 |
| 10/01/2024 162997 Blue Iguana Pest Control Inc monitoring October 2024 241.67 10/01/2024 162999 Blue Iguana Pest Control Inc monitoring October 2024 2,000.00 11/01/2024 175058 Blue Iguana Pest Control Inc monitoring November 2024 241.67 11/01/2024 175058 Blue Iguana Pest Control Inc monitoring November 2024 2,000.00 12/01/2024 175063 Blue Iguana Pest Control Inc monitoring December 2024 2,000.00 12/01/2024 175063 Blue Iguana Pest Control Inc monitoring December 2024 2,000.00 12/01/2024 175063 Blue Iguana Pest Control Inc monitoring December 2024 2,000.00 12/01/2024 175063 Blue Iguana Pest Control Inc monitoring December 2024 2,000.00 12/01/2024 175064 Blue Iguana Pest Control Inc monitoring December 2024 2,000.00 10/01/2024 32690 Regions Security Cot 2024 security administration 1,000.00 11/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,000.00 12/01/2024 33325 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.76 | Total 01-1821 · Waterfall Maintenance | | - | | 20,600.00 |
| 10/01/2024 162999 Blue Juana Pest Control Inc monitoring October 2024 2,000.00 11/01/2024 170558 Blue Juana Pest Control Inc monitoring November 2024 241.67 11/01/2024 170563 Blue Juana Pest Control Inc monitoring November 2024 2,000.00 12/01/2024 177406 Blue Juana Pest Control Inc monitoring December 2024 2,000.00 12/01/2024 177406 Blue Juana Pest Control Inc monitoring December 2024 2,000.00 12/01/2024 177406 Blue Juana Pest Control Inc monitoring December 2024 2,000.00 12/01/2024 177406 Blue Juana Pest Control Inc monitoring December 2024 2,000.00 12/01/2024 177406 Blue Juana Pest Control Inc monitoring December 2024 2,000.00 01-1844 · Security Services Admin 0/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,100.00 12/01/2024 33325 Regions Security SECURITY ADMINISTRATIVE SERVICES November 2024 1,000.00 01-1844 · Security Video Surv. & Virtual 1/00/1/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.76 11/01/2024 33028 Regions Secu | 01-1839 · Iguana Removal Services | | | | |
| 11/01/2024 170558 Blue Juana Pest Control Inc monitoring November 2024 241.67 11/01/2024 170563 Blue Juana Pest Control Inc monitoring November 2024 2,000.00 12/01/2024 177406 Blue Juana Pest Control Inc monitoring December 2024 241.67 12/01/2024 177406 Blue Juana Pest Control Inc monitoring December 2024 2,000.00 12/01/2024 177404 Blue Juana Pest Control Inc monitoring December 2024 2,000.00 Total 01-1839 · Iguana Removal Services 2,000.00 2,000.00 2,000.00 01-1844 · Security Services Admin 0/01/2024 32689 Regions Security Cd 2024 security administration 1,100.00 11/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,100.00 11/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 1,100.00 11/01/2024 33025 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,397.78 01-1845 · Security Video Surv. & Virtual 10/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,397.78 11/01/2024 33028 Regions Securi | C C | 10/01/2024 162997 | Blue Iguana Pest Control Inc | monitoring October 2024 | 241.67 |
| 11/01/2024 170563 Blue guana Pest Control Inc monitoring November 2024 2,000.00 12/01/2024 177406 Blue guana Pest Control Inc monitoring December 2024 241.67 12/01/2024 177404 Blue guana Pest Control Inc monitoring December 2024 2,000.00 Total 01-1839 · Iguana Removal Services 6,725.01 6,725.01 01-1844 · Security Services Admin 1 1 1,000.00 11/01/2024 32689 Regions Security Oct 2024 security administration 1,100.00 11/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,000.00 11/01/2024 3325 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 1,000.00 01-1844 · Security Services Admin 10/01/2024 3325 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 1,000.00 01-1845 · Security Video Surv. & Virtual 10/01/2024 3326 Regions Security 3,339.78 11/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 11/01/2024 33024 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3, | | 10/01/2024 162999 | Blue Iguana Pest Control Inc | monitoring October 2024 | 2,000.00 |
| 12/01/2024 177406 Blue iguana Pest Control Inc monitoring December 2024 241.67 12/01/2024 177404 Blue iguana Pest Control Inc monitoring December 2024 2,000.00 Total 01-1839 · Iguana Removal Services 6,725.01 6,725.01 6,725.01 01-1844 · Security Services Admin 10/01/2024 32689 Regions Security Oct 2024 security administration 1,100.00 11/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,100.00 12/01/2024 33325 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 1,000.00 01-1845 · Security Video Surv. & Virtual 12/01/2024 3325 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES - December 2024 3,339.78 01-1845 · Security Video Surv. & Virtual 10/01/2024 32690 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 11/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 12/01/2024 33324 Regions Security 3,339.78 3,339.78 12/01/2024 33324 Regions Security 3,339.78 3,339.78 <t< td=""><td></td><td>11/01/2024 170558</td><td>Blue Iguana Pest Control Inc</td><td>monitoring November 2024</td><td>241.67</td></t<> | | 11/01/2024 170558 | Blue Iguana Pest Control Inc | monitoring November 2024 | 241.67 |
| 12/01/2024 177406 Blue Iguana Pest Control Inc monitoring December 2024 241.67 12/01/2024 177404 Blue Iguana Pest Control Inc monitoring December 2024 2,000.00 Total 01-1839 · Iguana Removal Services 6,725.01 6,725.01 6,725.01 01-1844 · Security Services Admin 10/01/2024 32689 Regions Security Oct 2024 security administration 1,100.00 11/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,000.00 12/01/2024 3325 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 1,000.00 01-1844 · Security Services Admin 1/01/2024 3325 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 3,300.00 01-1845 · Security Video Surv. & Virtual 1/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.78 11/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 12/01/2024 33324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 10/01-1845 · Security Video Surv. & Virtual 12/01/2024 3324 Regions Securi | | 11/01/2024 170563 | Blue Iguana Pest Control Inc | monitoring November 2024 | 2,000.00 |
| Total 01-1839 · Iguana Removal Services 6,725.01 01-1844 · Security Services Admin 10/01/2024 32689 Regions Security Oct 2024 security administration 1,100.00 11/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,100.00 12/01/2024 33325 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 1,100.00 Total 01-1844 · Security Services Admin 3,300.00 3,300.00 3,300.00 01-1845 · Security Video Surv. & Virtual 10/01/2024 32690 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.78 11/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.78 12/01/2024 3324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 12/01/2024 3324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 10.019.344 Total 01-1845 · Security Video Surv. & Virtual SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 12/01/2024 3324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 10.019.344 Security Video Surv. | | 12/01/2024 177406 | | | 241.67 |
| 01-1844 · Security Services Admin 10/01/2024 32689 Regions Security Oct 2024 security administration 1,100.00 11/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,00.00 12/01/2024 33325 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 1,00.00 Total 01-1844 · Security Services Admin 1 3,300.00 1,00.00 01-1845 · Security Video Surv. & Virtual 1 10/01/2024 33028 Regions Security 10/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.78 11/01/2024 33024 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.78 11/01/2024 33024 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 12/01/2024 33324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 12/01/2024 33324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 12/01/2024 33324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 | | 12/01/2024 177404 | Blue Iguana Pest Control Inc | monitoring December 2024 | 2,000.00 |
| 10/01/2024 32689 Regions Security Oct 2024 security administration 1,100.00 11/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,00.00 12/01/2024 33325 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 1,00.00 Total 01-1844 · Security Services Admin | Total 01-1839 · Iguana Removal Services | | | | 6,725.01 |
| 11/01/2024 33029 Regions Security SECURITY ADMINISTRATIVE SERVICES November 24 1,00,00 12/01/2024 33325 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 1,00,00 Total 01-1844 · Security Services Admin | 01-1844 · Security Services Admin | | | | |
| 12/01/2024 33325 Regions Security SECURITY ADMINISTRATIVE SERVICES - December 2024 1,00.00 Total 01-1844 · Security Services Admin 3,300.00 01-1845 · Security Video Surv. & Virtual 10/01/2024 32690 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.78 11/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 12/01/2024 3324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 Total 01-1845 · Security Video Surv. & Virtual Total O1-1845 · Security Video Surv. & Virtual 10,019.34 | - | 10/01/2024 32689 | Regions Security | Oct 2024 security administration | 1,100.00 |
| Total 01-1844 · Security Services Admin 3,300.00 01-1845 · Security Video Surv. & Virtual 10/01/2024 32690 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.78 11/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 12/01/2024 3324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 Total 01-1845 · Security Video Surv. & Virtual 12/01/2024 3324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 Total 01-1845 · Security Video Surv. & Virtual 10/019.34 10/019.34 | | 11/01/2024 33029 | Regions Security | SECURITY ADMINISTRATIVE SERVICES November 24 | 1,100.00 |
| 01-1845 · Security Video Surv. & Virtual 10/01/2024 32690 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.78 11/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 12/01/2024 33324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 Total 01-1845 · Security Video Surv. & Virtual Total O1-1845 · Security Video Surv. & Virtual 10/019.44 | | 12/01/2024 33325 | Regions Security | SECURITY ADMINISTRATIVE SERVICES - December 2024 | 1,100.00 |
| 01-1845 · Security Video Surv. & Virtual 10/01/2024 32690 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES 3,339.78 11/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 12/01/2024 33324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 Total 01-1845 · Security Video Surv. & Virtual Urtual Urtual GUARD SERVICES December 2024 3,339.78 | Total 01-1844 · Security Services Admin | | | | 3,300.00 |
| 11/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 12/01/2024 33324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 Total 01-1845 · Security Video Surv. & Virtual 10,019.34 | 01-1845 · Security Video Surv. & Virtual | | | | |
| 11/01/2024 33028 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 3,339.78 12/01/2024 33324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 Total 01-1845 · Security Video Surv. & Virtual 10/01/2024 33324 10/01/2024 10/01/2024 | - | 10/01/2024 32690 | Regions Security | SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES | 3,339.78 |
| 12/01/2024 33324 Regions Security SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES December 2024 3,339.78 Total 01-1845 · Security Video Surv. & Virtual 10,019.34 | | 11/01/2024 33028 | • • | SECURITY VIDEO SURVEILLANCE & VIRTUAL GUARD SERVICES November 24 | 3,339.78 |
| | | 12/01/2024 33324 | • • | | 3,339.78 |
| | Total 01-1845 · Security Video Surv. & Virtual | | | | 10,019.34 |
| | Total Expenditures | | | | 234,724.23 |

Walnut Creek Community Development District Balance Sheet As of December 31, 2024

| | Operating Fund | Debt Service (2010) Fund | General Fixed Assets | Long Term Debt | TOTAL |
|----------------------------------|----------------|--------------------------|----------------------|---------------------------------------|---------------|
| ASSETS | | | | | |
| Current Assets | | | | | |
| Checking/Savings | | | | | |
| Operating Fund | 2,919,021.08 | 0.00 | 0.00 | 0.00 | 2,919,021.08 |
| Improvements/Emergency Funds | 1,105,050.33 | 0.00 | 0.00 | 0.00 | 1,105,050.33 |
| Total Checking/Savings | 4,024,071.41 | 0.00 | 0.00 | 0.00 | 4,024,071.41 |
| Total Current Assets | 4,024,071.41 | 0.00 | 0.00 | 0.00 | 4,024,071.41 |
| Other Assets | | | | | |
| Investments - Interest Account | 0.00 | 3.38 | 0.00 | 0.00 | 3.38 |
| Investments - Reserve Fund | 0.00 | 124,697.89 | 0.00 | 0.00 | 124,697.89 |
| Investments - Revenue Account | 0.00 | 124,511.68 | 0.00 | 0.00 | 124,511.68 |
| Investments - Prepayment Fund | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Investments - Redemption Account | 0.00 | 659.32 | 0.00 | 0.00 | 659.32 |
| Investments - Principal | 0.00 | 7.75 | 0.00 | 0.00 | 7.75 |
| Accounts Receivable | 11,720.00 | 0.00 | 0.00 | 0.00 | 11,720.00 |
| A/R Non Ad Valorem Receipts | 0.00 | 108.808.00 | 0.00 | 0.00 | 108.808.00 |
| Land & Land Improvements | 0.00 | 0.00 | 6,327,392.00 | 0.00 | 6,327,392.00 |
| 2010 Project Improvements | 0.00 | 0.00 | 1,746,100.00 | 0.00 | 1,746,100.00 |
| 2014 Improvements | 0.00 | 0.00 | 66,674.00 | 0.00 | 66,674.00 |
| Infrastructure | 0.00 | 0.00 | 3,123,376.00 | 0.00 | 3,123,376.00 |
| Equipment | 0.00 | 0.00 | 30,534.00 | 0.00 | 30,534.00 |
| Depreciation - Infrastructure | 0.00 | 0.00 | -3,079,677.00 | 0.00 | -3,079,677.00 |
| Depreciation - Equipment | 0.00 | 0.00 | -30.534.00 | 0.00 | -30,534,00 |
| Amount Available In DSF (2010) | 0.00 | 0.00 | 0.00 | 358,688.02 | 358,688.02 |
| Amount To Be Provided | 0.00 | 0.00 | 0.00 | 566,311.98 | 566,311.98 |
| Total Other Assets | 11,720.00 | 358,688.02 | 8,183,865.00 | 925,000.00 | 9,479,273.02 |
| TOTAL ASSETS | 4,035,791.41 | 358,688.02 | 8,183,865.00 | 925,000.00 | 13,503,344.43 |
| LIABILITIES & EQUITY | | | | | |
| Liabilities | | | | | |
| Current Liabilities | | | | | |
| Accrued Expense Sundry | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Maintenance Projects Reserves | 1,225,000.00 | 0.00 | 0.00 | 0.00 | 1,225,000.00 |
| Accounts Pavable | 203,875.84 | 0.00 | 0.00 | 0.00 | 203,875.84 |
| Total Current Liabilities | 1,428,875.84 | 0.00 | 0.00 | 0.00 | 1,428,875.84 |
| Long Term Liabilities | 1,420,070.04 | 0.00 | 0.00 | 0.00 | 1,420,070.04 |
| Special Assessment Debt (2008) | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Special Assessment Debt (2000) | 0.00 | 0.00 | 0.00 | 925,000.00 | 925,000.00 |
| Total Long Term Liabilities | 0.00 | 0.00 | 0.00 | 925,000.00 | 925,000.00 |
| - | | | | · · · · · · · · · · · · · · · · · · · | · · · · · |
| Total Liabilities | 1,428,875.84 | 0.00 | 0.00 | 925,000.00 | 2,353,875.84 |
| Equity | | | | | |
| Retained Earnings | 1,616,654.99 | 283,794.59 | -3,110,211.00 | 0.00 | -1,209,761.42 |
| Net Income | 990,260.58 | 74,893.43 | 0.00 | 0.00 | 1,065,154.01 |
| Current Year Depreciation | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Investment In Gen Fixed Assets | 0.00 | 0.00 | 11,294,076.00 | 0.00 | 11,294,076.00 |
| Total Equity | 2,606,915.57 | 358,688.02 | 8,183,865.00 | 0.00 | 11,149,468.59 |
| TOTAL LIABILITIES & EQUITY | 4,035,791.41 | 358,688.02 | 8,183,865.00 | 925,000.00 | 13,503,344.43 |

Walnut Creek CDD Debt Service (Series 2010) Profit & Loss Report December 2024

| | | | | Year |
|-------------------------------|-------------------|----|--------|--------------------|
| | Annual | | | To Date |
| | Budget | | Actual | Actual |
| | 10/1/24 - 9/30/25 | | Dec-24 | 10/1/24 - 12/31/24 |
| Revenues | | | | |
| Interest Income | 100 |) | 1,050 | 3,261 |
| NAV Tax Collection | 122,077 | , | 0 | 108,808 |
| Bond Prepayments | 0 | | 0 | 0 |
| Total Revenues | \$ 122,177 | \$ | 1,050 | \$ 112,069 |
| Expenditures | | | | |
| Principal Payments | 55,000 | | 0 | 0 |
| Additional Principal Payments | 11,083 | 5 | 0 | 10,000 |
| Interest Payments | 56,094 | | 0 | 27,176 |
| Total Expenditures | \$ 122,177 | \$ | - | \$ 37,176 |
| Excess/ (Shortfall) | \$- | \$ | 1,050 | \$ 74,893 |

WALNUT CREEK CDD TAX COLLECTIONS 2024 - 2025

| # | ID# | Payment From | DATE | FOR | | ect Receipts Gross | Interest Received | с | commission Paid | D | liscount | Net From Tax Collector | Admin Assessment Income (Before Discounts & Fees) | Maintenance Assessment Income (Before Discounts & Fees) | Series 2010 Debt Assessment Income (Before Discounts & Fees) | Admin Assessment Income (After Discounts & Fees) | Maintenance Assessment Income (After Discounts & Fees) | Series 2010 Debt Assessment Income (After Discounts & Fees) | Ass P | es 2010 Debt essment aid to rustee |
|----|-----|---------------------------|----------|-----------|--------|-----------------------|----------------------|----|--------------------|-------|------------|----------------------------|--|--|--|---|---|---|----------|--|
| | | | | | | | | - | | | | \$1,590,491 \$1,495,062 | \$191,897 \$180,383 | \$1,268,725 \$1,192,602 | \$129,869 \$122,077 | \$191,897 \$180,383 | \$1,268,725 \$1,192,602 | \$129,869 \$122,077 | \$1 | 22,077 |
| 1 | 1 | Broward Cty Tax Collector | 11/22/24 | NAV Taxes | ¢ | 200,923.57 | | ¢ | (3.856.24) | \$ | (8,111.22) | | | | | \$ 22,787.96 | | \$ 15,437.80 | | 5,437.80 |
| 2 | 2 | Broward Cty Tax Collector | | NAV Taxes | | 228,911.34 | | \$ | | | (9,156.74) | | \$ 27,606.64 | \$ 182,602.60 | | | | | | 7,594.95 |
| 3 | 3 | Broward Cty Tax Collector | | NAV Taxes | | 985,664.11 | | \$ | (18,928.09) | | | | \$ 118,871.01 | | | \$ 111,853.55 | | \$ 75,774.95 | | 5,774.95 |
| 4 | | | | | | | | | (| | : | 5 - | | , , | | | | | \$ | - |
| 5 | | | | | | | | | | | | 5 - | | | | | | | \$ | - |
| 6 | | | | | | | | | | | | 5 - | | | | | | | \$ | - |
| 7 | | | | | | | | | | | : | 5 - | | | | | | | \$ | - |
| 8 | | | | | | | | | | | : | 5 - | | | | | | | \$ | - |
| 9 | | | | | | | | | | | : | \$ - | | | | | | | \$ | - |
| 10 | | | | | | | | | | | : | \$ - | | | | | | | \$ | - |
| 11 | | | | | | | | | | | : | \$ - | | | | | | | \$ | - |
| 12 | | | | | | | | | | | : | \$- | | | | | | | \$ | - |
| 13 | | | | | | | | | | | : | ÷ - | | | | | | | \$ | - |
| 14 | | | | | | | | | | I | : | \$- | | | | | | | \$ | - |
| 15 | | | | | | | | | | | : | \$ - | | | | | | | | |
| 16 | | | | | | | | | | | : | \$ | | | | | | | | |
| | | | | | \$1,41 | 5,499.02 | \$ - | \$ | (27,179.43) | \$ (5 | 56,527.08) | \$ 1,331,792.51 | \$ 170,708.97 | \$ 1,129,143.65 | \$ 115,646.40 | \$ 160,613.71 | \$ 1,062,371.10 | \$ 108,807.70 | \$ 10 | 8,807.70 |

24/25 Assessment Roll:

Admin: \$191,896.95 Maint: \$1,268,725.15 2020 Debt: <u>\$129,868.80</u> \$1,590,490.90 Collections 89.00% Note: \$1,590,491, \$191,897, \$1,268,869 and \$129,869 are 2024/2025 budgeted assessments before discounts and fees. \$1,495,062, \$180,383, \$1,192,602 and \$122,077 are 2024/2025 budgeted assessments after discounts and fees.

| \$ 1,415,499.02 | |
|----------------------|----------------------|
| \$ - | \$ 1,331,792.51 |
| \$ (170,708.97) | \$ (160,613.71) |
| \$ (1,129,143.65) | \$ (1,062,371.10) |
| \$ - | \$ - |
| \$ (115,646.40) | \$ (108,807.70) |
| \$ 0.00 | \$ - |

RESOLUTION 2025-01

A RESOLUTION OF THE WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT DESIGNATING MICHAEL J. PAWELCZYK AS THE DISTRICT'S REGISTERED AGENT AND DESIGNATING THE OFFICE OF BILLING, COCHRAN, LYLES, MAURO & RAMSEY, P.A. AS THE REGISTERED OFFICE

WHEREAS, Section 189.014, Florida Statutes requires that the Walnut Creek Community Development District (the "District") designate a registered office and a registered agent, and further authorizes the District to change its registered office and registered agent, at the discretion of the District Board of Supervisors (the "Board"); and

WHEREAS, the designation of both a registered office and a registered agent is for the purpose of accepting service of process, notice, or demand that is required or permitted by law to be served upon the District; and

WHEREAS, the Board has been informed by the office of District Counsel that there is a need to designate a new registered agent for the District; and

WHEREAS, the Board seeks designate Michael J. Pawelczyk as the registered agent for the District, and update the business address of the registered office of the District, as necessary.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT, THAT:

Section 1. The foregoing recitals are hereby incorporated as findings of fact of the Board.

Section 2. Michael J. Pawelczyk is hereby designated as the registered agent for the District, thereby replacing any previously designated registered agent.

<u>Section 3</u>. The registered office of the District is hereby designated as the office at Billing, Cochran, Lyles, Mauro & Ramsey, P.A., 515 East Las Olas Boulevard, Suite 600, Fort Lauderdale, Florida 33301. The registered office is identical to the business address of the registered agent designated in Section 2 of this Resolution.

Section 4. Pursuant to the requirements of Section 189.014(2), Florida Statutes, the District's Secretary shall transmit copies of this Resolution to the local governing authority or authorities and to the Florida Department of Economic Opportunity.

<u>Section 5.</u> All resolutions or parts of resolutions in conflict herewith are repealed to the extent of such conflict.

<u>Section 6</u>. If any clause, section or other part or application of this Resolution is held by a court of competent jurisdiction to be unconstitutional, illegal or invalid, in part or as applied, it shall not affect the validity of the remaining portions or applications of this Resolution.

<u>Section 7</u>. This Resolution shall be effective immediately upon adoption.

PASSED AND ADOPTED THIS _____21st____ DAY OF _____January____, 2025.

WALNUT CREEK COMMUNITY DEVELOPMENT DISTRICT

ATTEST:

Print name: ______ Secretary/Assistant Secretary

Print name: _____

Chair/Vice-Chair, Board of Supervisors

Pest Findings by Location

WALNUT CREEK CDD TAFT ST WATERFALLS

DEC 01, 2024 TO JAN 01, 2025

Finding Types:All Finding TypesTarget Pests:Iguana

| Walnut Creek CDD Taft St Waterfalls, | 1978 Northwest 76th Avenue, | Pembroke Pines, FL 33024 | | |
|--------------------------------------|-----------------------------|--------------------------|---------|----------|
| Device | Date | Pest | Туре | Quantity |
| Property | | | | |
| | 12/05/2024 01:18 PM | Iguana | Sighted | 6 |
| | 12/06/2024 02:09 PM | Iguana | Sighted | 5 |
| | 12/10/2024 01:16 PM | Iguana | Sighted | 3 |
| | 12/12/2024 10:15 AM | Iguana | Sighted | 1 |
| | 12/13/2024 12:54 PM | Iguana | Sighted | 3 |
| | 12/19/2024 01:14 PM | Iguana | Sighted | 3 |

Total Iguanas (Consolidated) for December 2024 (waterfalls): 21 R.G.

Iguana Control

Pest Findings by Location

WALNUT CREEK CDD LAKES & CANALS

DEC 01, 2024 TO JAN 01, 2025

Finding Types:All Finding TypesTarget Pests:Iguana

Walnut Creek CDD Lakes & Canals, 7500 NW 20th St, Hollywood, FL 33024-1079

| Device | Date | Pest | Туре | Quantity |
|----------|---------------------|--------|---------|----------|
| Property | | | | |
| | 12/05/2024 01:19 PM | Iguana | Sighted | 2 |
| | 12/06/2024 02:10 PM | Iguana | Sighted | 7 |
| | 12/13/2024 11:51 AM | Iguana | Sighted | 2 |
| | 12/13/2024 01:43 PM | Iguana | Sighted | 6 |
| | 12/20/2024 12:00 PM | Iguana | Sighted | 4 |

Total Iguanas (Consolidated) for December 2024 (Lakes & Canals): 21 R.G.

Iguana Control

| Wa | Inut Creek CDD – Holiday Ligh | nting | | | | | |
|--|---|---|--|--|--|--|--|
| Christmas Lights by AMCO | Stallion Equities d.b.a. Randy's Holiday Lighting | | | | | | |
| Installation ar | nd removal of holidays lighting decoration. | Areas included: | | | | | |
| | Taft ST. Waterfall Taft. ST Entrance (4 Palms each side) Taft ST. Guardhouse Sheridan ST. Entrance Monument Sheridan ST. Guardhouse |). | | | | | |
| Warm White LED C-9 for the guardhouses and waterfall. | Warm White LED C-7 and C-9 for the guardhouses and main (Taft) entrance palms. | Warm White LED C-7 for the guardhouses and waterfall. | | | | | |
| Warm White Mini-Lights for Palms. | Warm White Mini-Lights for waterfall palms trunks, and Green for fronds. | Warm White Mini-Lights for Palms and planters. | | | | | |
| Includes <u>digital</u> timers for all outlets. Includes <u>digital</u> timers for all outlets. | | | | | | | |
| *Technical specs a | bout lighting and cable (to be used), detaile | ed in every proposal. | | | | | |
| Total Price: \$24,428.44 | Total Price: \$11,870.00 | Total Price: \$10,693.00 | | | | | |
| **See itemized price in the proposal. | **See itemized price in the proposal. 50% Deposit required | **See itemized price in the proposal. | | | | | |
| ***Pro | posals valid for a 3-year agreement. As per | vendors. | | | | | |

November 15, 2024

Walnut Creek 7500 NW 20th Street Pembroke Pines, FL 33024

Att: Ronald Galvis

Re: Holiday Lighting Décor

Dear Ronald,

It was a pleasure meeting with you regarding your holiday lighting needs at the above-mentioned property. Attached you will find our proposal for general Holiday Lighting and Decorating for your consideration and review.

Christmas Lights by Amco is an American based company with offices in New Jersey and South Florida. We are family owned and operated providing personal service to every client since 1962. Our services are turn-key inclusive of renderings, installation, removal and storage for next season. We enjoy designing personalized displays for both our residential and commercial clients. Our clients include shopping malls, main street restaurants, office buildings, schools, churches, medical centers, warehouses, food establishments and corporate functions as well as residential homes of all sizes.

Christmas Lights by Amco is a nationwide CLIPA certified installer in Christmas/Holiday and Event Decorating. Rest assured you are in good hands. CLIPA installers must adhere to quality control guidelines and provide consistent monitoring.

Should you have any questions regarding this proposal, feel free to contact us at the address or phone number below.

George J. Caso President 908-209-7410

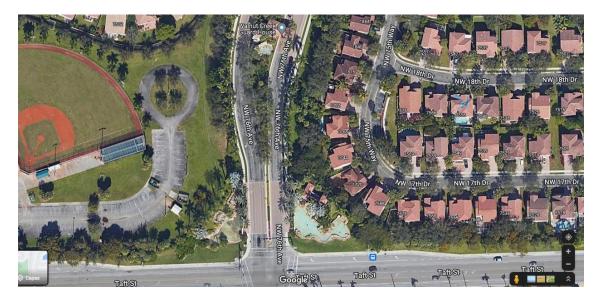






We propose the following:

Main entrance (NW 76th Ave, Taft St)



Guard House

- We are going to place C-9 warm white lights, around the entire roof of the guard post. 380 ft.
 Total \$1,501.00 plus tax.
- We are going to place 750 LED warm white Minis to the Oak tree that is behind the left side checkpoint (exit) and 1000 warm white LED minis to two palm trees that are together, on the right side (entrance)
 Total \$1,277.50 plus tax.
- In the front of the sentry box, we will illuminate with Led Warm White Minis, three palm trees on the left side and on the right side another group of three thin palm trees, in total 3600 LED Minis.
 Total \$2,628.00 plus tax.

- We will place Ground light with C-9 bulbs around the fountain that is in front of the checkpoint. 25 feet.
 Total \$74.75 plus tax.
- 5. We will place Minis Led warm white to the 8 palm trees that are along the entrance, 4 on the right, 4 on the left, 1000 lights at each, total 8000 minis white.
 Total \$5,840.00 plus tax.

Right Corner

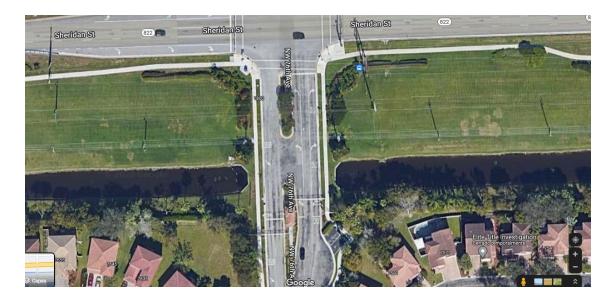
- We will place C-9 bulbs in front and sides of the building that is behind the fountain.
 210ft.
 Total \$829.50 plus tax.
- 7. Group of 3 palm trees in front of the same building. 2400 Minis LED warm white. **Total \$1,752.00 plus tax.**
- 8. Group of 8 thin palm trees between the two sings. 2000 Minis LED warm white. **Total \$1,460 plus tax.**
- We will illuminate a group of robellini Palms, which are in front of the fountain, with 950 Minis white LED white.
 Total \$693.50 plus tax.
- 10. 46ft of Ground light in front of the fountain. Total \$137.54 plus tax.

Left Corner

- We will illuminate 5 of the palm trees that are behind the fountain. 4000 Minis LED warm white.
 Total \$2,920.00 plus tax.
- We will place lights on all the robellini Palms, which are in front of the fountain. 2000 Minis Led warm white.
 Total \$1,460.00 plus tax.

 13. 100 ft. of Ground light in front of the fountain. Total \$299.00 plus tax.

Second Entrance (NW 76th Ave, Sheridan St)



- We will place C-9 bulbs around the roof of the guard post. 110ft.Total \$ 434.50 plus tax.
- 15. We will illuminate the bushes in front of the checkpoint, on the inside side with 1500 LED warm white Minis.Total \$780.00 plus tax.
- The two shrubs on the sides of the sentry box with 1000 LED warm white Minis.
 Total \$520.00 plus tax.
- 17. The two small shrubs in front of the checkpoint, on the outside side with 600 LED warm white Minis.Total \$312.00 plus tax.

- 18. We will place 200 LED warm white Minis in the two robellini palms in front of the checkpoint.Total \$146.00 plus tax.
- 19. We will illuminate the three trees and the group of robellini Palms, which are next to the sign. 1500 LED warm white minis.Total \$1095.00 plus tax.
- We will place a piece of Garland decorated and lighted, on top of the sign. 9ft. Total \$141.75 plus tax.
- 21. We will illuminate the top of each column of the sign with C-9, 32ft bulbs. Total \$126.40 plus tax.

All prices include installation of wiring, timers, lights and decorations as well as take-down and storage.

Total cost for holiday decorating will be \$24,428.44 plus Florida State sales tax. This cost and proposal will be valid for Three years (2025, 2026, 2027 seasons).

Payment Terms: 50% of payment due upon signing. Balance due on installation.

Your continued confidence in Christmas Lights by Amco is greatly appreciated. If you have any questions or need additional information regarding the proposal, please contact me at your earliest convenience.

Sincerely,

George J. Caso President Christmas Lights by Amco

By signing this document, I accept this proposal and acknowledge the policies, terms and conditions set forth in the disclosure. Please initial, sign and date the disclosure also.

Approval (signature)

Date

Christmas Lighting by Amco Policies, Terms and Conditions

Christmas Lighting by Amco's service is comprised of the design, installation, and removal of holiday decorations. All lighting and decorations remain the property of the service provider. This is a service agreement only and no goods are being sold.

Lighting and Decorations: Christmas Lighting by Amco warrants the quality of our decorations and workmanship as provided below. Should you have any problems with the decorations we want to correct them as soon as possible. We recommend that you turn the lights on for several hours over the first three to four evenings to test the lighting program. This will allow us to make corrections as soon as possible in order to maximize your enjoyment of the decorations. Repairs needed due to vandalism, extraordinary weather conditions and customer added lights are not warranted and will be billed as additional services. Power failure or tripping of GFI circuits that occur as a result of inclement weather cannot be the responsibility of Christmas Lighting by Amco. We will perform the required service calls to solve these issues, but we cannot be held liable for damage that may occur as a result of acts of nature. Upon reinstallation, all non-functioning bulbs and/or miniature light sets will be replaced at no additional charge; this is included in the reinstallation and removal charge. As plants grow, we will add additional lights to any landscape lighting at our discretion and bill the service at the appropriate rates. Any additional items requested at the time of service will also be invoiced accordingly.

Billing Issues and Quality of Service: In the event that you have a question concerning any billing, contact our office within 7 days, or we assume that the billing is correct. All services, unless otherwise agreed, are billed at the time of installation, at which time payment is due. This normally would include materials, set up, installation accessories, removal, and boxing of decor. Storage of all decor is included with the service; Christmas Lighting by Amco guarantees the quality of all material and workmanship; however, any questions regarding the quality of workmanship must be addressed within 7 days of service, or before the next service is to be performed, whichever comes first.

Seasonal Lighting: Please be advised that all standard lighting that is installed is suitable only to be used as seasonal, temporary lighting unless otherwise specified. Christmas Lighting by Amco can only warrant seasonal lighting up to 90 days. Product life expectancy should not exceed 90 days when used continuously. Please consult your representative if you are interested in a permanent type of lighting. There is no permanent type of mini lighting or tree lighting available.

Photos: Please note, that unless otherwise agreed upon, Christmas Lighting by Amco reserves the right to take photos of our decor services on your property and use representations of these same photos for marketing purposes to include, but not limited to, brochures, portfolios, internet or postcards. The use of photo representations does not imply that any financial or other consideration will be given for said use. Further, we reserve the right on commercial accounts to state the property name and/or address.

Terms and Conditions: A deposit may be required at the time your order is placed. Full payment for every item and service is due according to the invoice terms on the date of service. In the event payment is not made within terms on invoice, a finance charge of 18% (eighteen percent) per annum, but in no event more than the maximum amount allowed at law, shall be assessed and due on the unpaid balance from the due date until payment is received in full by Christmas Lighting by Amco. Payments received will be applied first to any outstanding FINANCE CHARGE and the remainder to the unpaid balance on the account. In the event the purchaser fails to make payments as required, your account shall be considered in default and the purchaser shall be responsible for costs of collection and reasonable attorneys' fees, as allowed by law. Client will provide all electrical power sources. If a requested item becomes unavailable, Christmas Lighting by Amco reserves the right to substitute an item of equal or better quality, subject to customer agreement or to delete the terms off of installation and invoice. Residential clients will be bound by continuing service agreement, meaning that yearly decor services are authorized unless Christmas Lighting by Amco is notified otherwise.

Lease Agreements: All clients, unless otherwise noted, will be serviced under the terms of the continuing service agreement. For those residential or commercial clients opting for a "multiple year" lease agreement, the contract will apply to the following decorating season(s):

Initials . For commercial clients, please see separate lease contract.

Installation and Removal: Holiday decorations shall be installed and removed at your request if possible. Clients designating times are given priority based upon first-in-time notice. All services are subject to weather conditions and demand. The service provider retains sole discretion as to the timing of services and no breach occurs based on dates of services.

Limited Warranty and Limitation of Liability and Remedies: BOTH PARTIES TO THIS CONTRACT AGREE THAT IN THE EVENT OF THE FAILURE OR MALFUNCTION OF THE LIGHTING AND/OR DECORATIONS PROVIDED, THE SOLE AND EXCLUSIVE REMEDY AVAILABLE TO THE CLIENT SHALL BE THE REFUND OF THE COST OF THE SERVICES PROVIDED UNDER THIS AGREEMENT OR THE REPAIR OR REPLACEMENT OF THE LIGHTING AND/OR DECORATIONS, TO BE DETERMINED SOLELY AT THE DISCRETION OF THE SERVICE PROVIDER.

BOTH PARTIES AGREE THAT CHRISTMAS LIGHTING BY AMCO WILL NOT BE LIABLE FOR ANY CONSEQUENTIAL DAMAGES OF ANY NATURE CAUSED TO THE PROPERTY OF THE CLIENT BY ANY FAILURE OR MALFUNCTION OF THE LIGHTING AND DECORATIONS PROVIDED UNDER THIS AGREEMENT. SOME STATES MAY NOT ALLOW FOR THE EXCLUSION OR LIMITATION OF INCIDENTAL AND CONSEQUENTIAL DAMAGES, SO THE ABOVE LIMITATION AND EXCLUSION MAY NOT APPLY TO YOU.

BOTH PARTIES AGREE THAT ANY CLAIM BY THE CLIENT THAT THE WORKMANSHIP OR MATERIALS USED ARE DEFECTIVE OR NONCONFORMING MUST BE BROUGHT TO THE ATTENTION OF THE CHRISTMAS LIGHTING BY AMCO REPRESENTATIVE IN WRITING WITHIN 72 HOURS OF THE SERVICE. FAILURE TO DO SO RESULTS IN A COMPLETE AND FINAL WAIVER OF ALL CLAIMS

Arbitration: ANY AND ALL DISPUTES THAT MAY ARISE BETWEEN THE PARTIES SHALL BE SETTLED BY ARBITRATION IN ACCORDANCE WITH STATE LAW WHERE THE SERVICE PROVIDER IS LOCATED. THE ARBITRATOR'S AWARD SHALL BE FINAL AND BINDING ON ALL PARTIES, AND JUDGMENT MAY BE ENTERED BY A COURT OF COMPETENT JURISDICTION IN THE COUNTY OF THE SERVICE PROVIDER WHERE ALL ARBITRATION PROCEEDINGS SHALL BE CONDUCTED THROUGH THE DISPUTE RESOLUTION CENTER, OR ITS SUCCESSOR.

I have read, understand and agree to the above policies, terms, and conditions. Customer has the right to rescind this contract by giving written notice to the service provider within three days from the date below.



Estimate 202 Wed Nov 13, 2024 Epic Landscaping 6650 sw 189th way Southwest Ranches, Florida 33332 www.epicholidaylights.com 9546809995 josebarquero@epiclandscaping.org

Notes | Required Deposit

- Deposit to start \$5,935.00

Customer

Walnut Creek

1 ***Location***

Item(s) **Qty Name** Description Rate Amount 1 ***Location*** Main Entrance on \$0.00 \$0.00 Taft St & 76th Ave 8 Medjool Palm Trunk and Spiral wrap the trunk of the Medjool Palm with coaxial LED warm white lights, and the \$720.00 \$5.760.00 Fronds | Warm white trunk, fronds with LED green lights, which come with coaxial connectors and rubber seals for areen fronds extra protection against external factors. Fronds = Green Trunk = Warm White 4 palms located at entrance 4 palms located at exit 10 Shrubs | Warm White To cover the area of the shrubs, install warm white LED lights in a zigzag pattern. \$95.00 \$950.00 To cover the shrubs around each mediool palm, 8 palms total 4 at entrance 4 at exit and the two sections of hedges located at the center median 1 C7 Installation | Warm \$2,550.00 \$2,550.00 Outline the fascia and ridges of the Guardhouse and tower with approx 450Inft of C9 white: C9 Installation | Warm White bulbs Warm White 1 ***Location*** **Resident Entrance** \$0.00 \$0.00 1800 NW 76th Ave, Pembroke Pines, FI 33024 1 C7 Installation | Warm Outline the monument wall with warm white led lights. \$150.00 \$150.00 white: C9 Installation | Warm White 1 Shrubs | Warm White \$250.00 \$250.00 To cover the area of the shrubs, install warm white LED lights in a zigzag pattern. Located at the Center Median behind the monument area 1 C7 Installation | Warm Outline the ridge and fascia of the guardhouse located at the second center median. \$520.00 \$520.00 white: C9 Installation | Warm White 4 Robellini Palm Trunk Only | Spiral wrap the trunk of the Robellini Palm with coaxial LED warm white lights which \$65.00 \$260.00 Warm White come with coaxial connectors and rubber seals for extra protection against external factors. 2 located at the 1st center median 2 located at the 2nd center median, front of the guardhouse

Fountain area on Main Entrance

\$0.00

\$0.00

| 1 | C7 Installation Warm white: C9 Installation Warm White | Outline the area in front of the reclinata with c9 bulbs, warm white. 50' Approx | \$290.00 | \$290.00 |
|----|--|---|----------|-------------|
| 12 | Reclinata Trunk Warm White | Spiral wrap the trunk of the Reclinata Palm with coaxial LED warm white lights, which come with coaxial connectors and rubber seals for extra protection against external factors. Price per leg of the palm | \$95.00 | \$1,140.00 |
| | Subtotal | Subtotal | | \$11,870.00 |

S

| ubtotal | \$11,870.00 |
|---------|-------------|
| Тах | \$0.00 |
| Total | \$11,870.00 |

Notes

*We will charge you an additional fee for any damage to lights or decorations caused by vandalism or electrical surges.

*Please note that Epic Landscaping reserves the right to use pictures of the above-mentioned decor for promotional purposes.

*All trees and palms must be substantially pruned by September 15th or at least 60 days before your turn-on date. Failing to do so will result in pruning charges.

*The installation date will be reserved once your contract is signed and a 50% deposit is received. The remaining 50% is due upon completion of the installation.

*Electrical outlets are required to light up each area.

*If there is no electrical outlet available in a particular section and we need to run an extension cord through pavers to light up a tree, Epic Landscaping will not be held responsible for any accidents that might occur due to the lack of an outlet in that section. We will secure the extension cord with hot glue and position it in an area to prevent the cable from becoming loose.

*Outlets with GFCIs are notoriously susceptible to tripping. It is the customer's responsibility to reset all GFCIs. It is impossible to prevent GFCI-protected outlets or breakers from tripping when the lights get wet. Once completely dried out, they require a simple reset. Make sure someone checks them every evening to ensure power is going to the lights.

*All prices include extension cords, staples, tie wraps, etc., to complete the job.

*All prices are for leased products unless otherwise noted.

Terms

Signature

Date



| Estimate |) |
|----------|---|
|----------|---|

Estimate # Date 1/1/2025 13839

Name / Address

Walnut Creek Community Development Distri C/O Special District Services, Inc. 1800 NW 76th Ave, Pembroke Pines, FL 3302 786-347-2711, 786-985-8848

Ship To

95 south, exit Sheridan St. and go west make a left on 441 (state Rd. 7), then make a R on Taft Street, go a little more than a mile, make a R into Walnut Creek, after guard, first R, first L

| | Terms | Rep | Αссοι | unt # | | Project |
|--|--|----------------|-------------|----------|------------|---------|
| | Net 30 | RG | | | | |
| Descrip | tion | | | Qty | Cost | Total |
| ********CUSTOMER HAS REQUESTED THAT WE INSTALL C REGARDLESS OF WHETHER OR NOT THEY ARE CONTROL SURE TO INSTALL OUR TIMERS ON ALL OUTLETS & SET TH Timer is on entrance side behind waterfall. Guardhouse is on a Timers charge Specialty items not in Regular Inventory or Special Instructions f | LED BY AN IN-HOUSE TI HEM DUSK TO DAWN**** photocell behind the guard | MER OR PHOTOC | | 25 | 18.00 | 450.00T |
| 58' TRUCK NEEDED FOR THIS INSTALLATION INSTRUCTIONS: (ENTER INTERSECTION INFO & ZIP CODE DETAILED DIRECTIONS: TAFT ST & NW 76TH AVE TAFT ENTRANCE (EAST SIDE): | 58' TRUCK NEEDED FOR THIS INSTALLATION INSTRUCTIONS: (ENTER INTERSECTION INFO & ZIP CODE) OR (JOB ADDRESS) BELOW INTO GPS FOR DETAILED DIRECTIONS: TAFT ST & NW 76TH AVE | | | | 2.50 | 175.00T |
| C-7 WARM WHITE LED bulbs (for C-7 stringer) | | | | 70 70 | 2.50 | 175.00T |
| Light multi trunked Phoenix Reclinata Palm with 30 sets of COA Coaxial WARM WHITE LED mini lights (green wire) (these lights | | | seals) | 30 | 26.00 | 780.00T |
| TAFT ENTRANCE (CENTER): Light trunks & fronds of 8 Medjool Palms (4 on each side) with 3 (18 fronds to be lit per tree) | 2 sets of COAXIAL WARM | WHITE LED mini | lights each | | | |
| WE USE ONLY THE HIGHEST QUALITY COMMERCIAL GRAD SATISFACTION IS GUARANTEED. | DE PRODUCTS, YOUR | s | ubtotal | | | |
| | | S | ales Tax | (0.0% | b) | |
| | | Т | otal | | | |

Print Name

| Phone # | Fax # | E-mail | Web Site |
|--------------|--------------|----------------------------------|---------------------------|
| 561-845-8000 | 561-845-8008 | office@randysholidaylighting.com | randysholidaylighting.com |



| Estimate |
|----------|
|----------|

Estimate # Date 1/1/2025 13839

Name / Address

Walnut Creek Community Development Distri C/O Special District Services, Inc. 1800 NW 76th Ave, Pembroke Pines, FL 3302 786-347-2711, 786-985-8848

Ship To

95 south, exit Sheridan St. and go west make a left on 441 (state Rd. 7), then make a R on Taft Street, go a little more than a mile, make a R into Walnut Creek, after guard, first R, first L

| | Terms | Rep | Αссоι | int # | F | Project |
|--|----------------------------|--------------------|----------|------------|--------------|--------------------|
| | Net 30 | RG | | | | |
| Descrip | tion | | | Qty | Cost | Total |
| Coaxial WARM WHITE LED mini lights (green wire) (these lights | s have screw together conn | ectors with rubber | seals) | 256 | 26.00 | 6,656.00T |
| Scatter light 8 planter beds with 45 sets of COAXIAL WARM WH sets per planter) Coaxial WARM WHITE LED mini lights (green wire) (these lights | · · | · | , | 45 | 24.00 | 1,080.00T |
| TAFT ENTRANCE (GUARD HOUSE): Outline the roofline edge of guard house with WARM WHITE LE White wire C-7 stringer (12" spacing) cost per foot C-7 WARM WHITE LED bulbs (for C-7 stringer) | D C-7 lights (250') | | | 250 250 | 2.50 2.50 | 625.00T 625.00T |
| INSTRUCTIONS: (ENTER INTERSECTION INFO & ZIP CODE DETAILED DIRECTIONS: SHERIDAN ST & NW 76TH AVE SHERIDAN ENTRANCE: Outline the roofline edge of guard house with WARM WHITE LE White wire C-7 stringer (12" spacing) cost per foot C-7 WARM WHITE LED bulbs (for C-7 stringer) | , , , , | LOW INTO GPS F | OR | 60 60 | 2.50 2.50 | 150.00T 150.00T |
| Outline road sign with WARM WHITE LED C-7 lights (35') White wire C-7 stringer (12" spacing) cost per foot | | | | 35 | 2.50 | 87.50T |
| WE USE ONLY THE HIGHEST QUALITY COMMERCIAL GRAD SATISFACTION IS GUARANTEED. | DE PRODUCTS, YOUR | S | ubtotal | | | |
| | | S | ales Tax | (0.0% | b) | |
| | | Т | otal | | | |

Print Name

| Phone # | Fax # | E-mail | Web Site |
|--------------|--------------|----------------------------------|---------------------------|
| 561-845-8000 | 561-845-8008 | office@randysholidaylighting.com | randysholidaylighting.com |



| Es | tim | ate |
|----|-----|-----|
| | | |

 Date
 Estimate #

 1/1/2025
 13839

Name / Address

Walnut Creek Community Development Distri C/O Special District Services, Inc. 1800 NW 76th Ave, Pembroke Pines, FL 3302 786-347-2711, 786-985-8848

Ship To

95 south, exit Sheridan St. and go west make a left on 441 (state Rd. 7), then make a R on Taft Street, go a little more than a mile, make a R into Walnut Creek, after guard, first R, first L

| | Terms | Rep | Αссοι | unt # | F | Project |
|---|-------------------|-----|----------|-------|-----------|---------------------|
| | Net 30 | RG | | | | |
| Descrip | tion | | | Qty | Cost | Total |
| C-7 WARM WHITE LED bulbs (for C-7 stringer) | | | | 35 | 2.50 | 87.50T |
| Light lower bushes in front of sign and around entire median with Coaxial WARM WHITE LED mini lights (green wire) (these lights | | | | 35 | 24.00 | 840.00T |
| BUCKET TRUCK/EQUIPMENT FEE: INCLUDED | | | | 0 | 0.00 | 0.00 |
| next three (3) years in exchange for a 10% discount each of the to the expiration of the contract, the customer will reimburse Rar each of the prior years. Cancellation must occur in writing no lat scheduled, or the customer will be obligated for the full amount of *This is a contract, make sure you understand the terms before the *Set-up, maintenance, take-down and storage is included. Main 2nd. Repairs outside of that time will cost extra. Lights can be I Lights to be left up beyond that time will incur additional charges | | | | | -1,188.00 | -1,188.00T 0.00T |
| WE USE ONLY THE HIGHEST QUALITY COMMERCIAL GRAD SATISFACTION IS GUARANTEED. | DE PRODUCTS, YOUR | S | ubtotal | | | |
| | | S | ales Tax | (0.0% | 6) | |
| | | Т | otal | | | |

Print Name

| Phone | # | Fax # | E-mail | Web Site |
|-----------|-----|--------------|----------------------------------|---------------------------|
| 561-845-8 | 000 | 561-845-8008 | office@randysholidaylighting.com | randysholidaylighting.com |



| Es | tim | ate |
|----|-----|-----|
| | | |

 Date
 Estimate #

 1/1/2025
 13839

Name / Address

Walnut Creek Community Development Distri C/O Special District Services, Inc. 1800 NW 76th Ave, Pembroke Pines, FL 3302 786-347-2711, 786-985-8848

Ship To

95 south, exit Sheridan St. and go west make a left on 441 (state Rd. 7), then make a R on Taft Street, go a little more than a mile, make a R into Walnut Creek, after guard, first R, first L

| | Terms | Rep | Αссоι | unt # | F | Project |
|--|---|--|---|-------|------|---------|
| | Net 30 | RG | | | | |
| Descrip | tion | | | Qty | Cost | Total |
| *All pricing includes all extension cords, staples, tie wraps, etc. i *All prices are for leased product, unless otherwise noted. ***GFI outlets are notoriously sensitive to tripping. Customers ar prevent GFI protected outlets or breakers from tripping when the are dried out. Please have someone check them each evening *In order to minimize the tripping of the GFI outlets make sure to are on. Also, DO NOT tape up any connections, this will only tra the warranty. *Electrical receptacles are necessary for each area to be lit. *All trees & palms must be substantially pruned by September 1 failure to do so will result in pruning charges. *Hot glue is the only effective way to attach lights to concrete or lights are removed. We will make every effort to minimize the le the lights but the customer may have to make some repairs to th removal. *INSTALLATION DATES are booked upon receiving your signed *Removal of all lighting is done from Jan 2nd through Jan 31 un all greens (Xmas trees, garland, wreaths, menorahs, etc) is done *All damages or theft to lights and decorations that we have no | re responsible for resetting a LIGHTS get wet. They sin to ensure that power is goid o not run your sprinklers at ap moisture. Failure to follow 5th or a minimum of 60 day stucco surfaces and some aftover residue and damage the concrete/stucco surfaces if the d contract and a 50% depo less other arrangements ar e between January 2nd and control over, i.e. vandalism | all GFI's. There is nply must be reset ng to the lights. the same time any o ow these instruction residue may be lef that may occur wh s after the lights have ey become damage sit. e made in writing. d January 15th. | once they of the lights is may void -on date, t once the en removing ve been ed during Removal of | | | |
| WE USE ONLY THE HIGHEST QUALITY COMMERCIAL GRAI SATISFACTION IS GUARANTEED. | DE PRODUCTS, YOUR | S | ubtotal | | | |
| | | Sa | ales Tax | (0.0% | 6) | |
| | | Т | otal | | | |

Print Name

| Phone # | Fax # | E-mail | Web Site |
|--------------|--------------|----------------------------------|---------------------------|
| 561-845-8000 | 561-845-8008 | office@randysholidaylighting.com | randysholidaylighting.com |



 Date
 Estimate #

 1/1/2025
 13839

Name / Address

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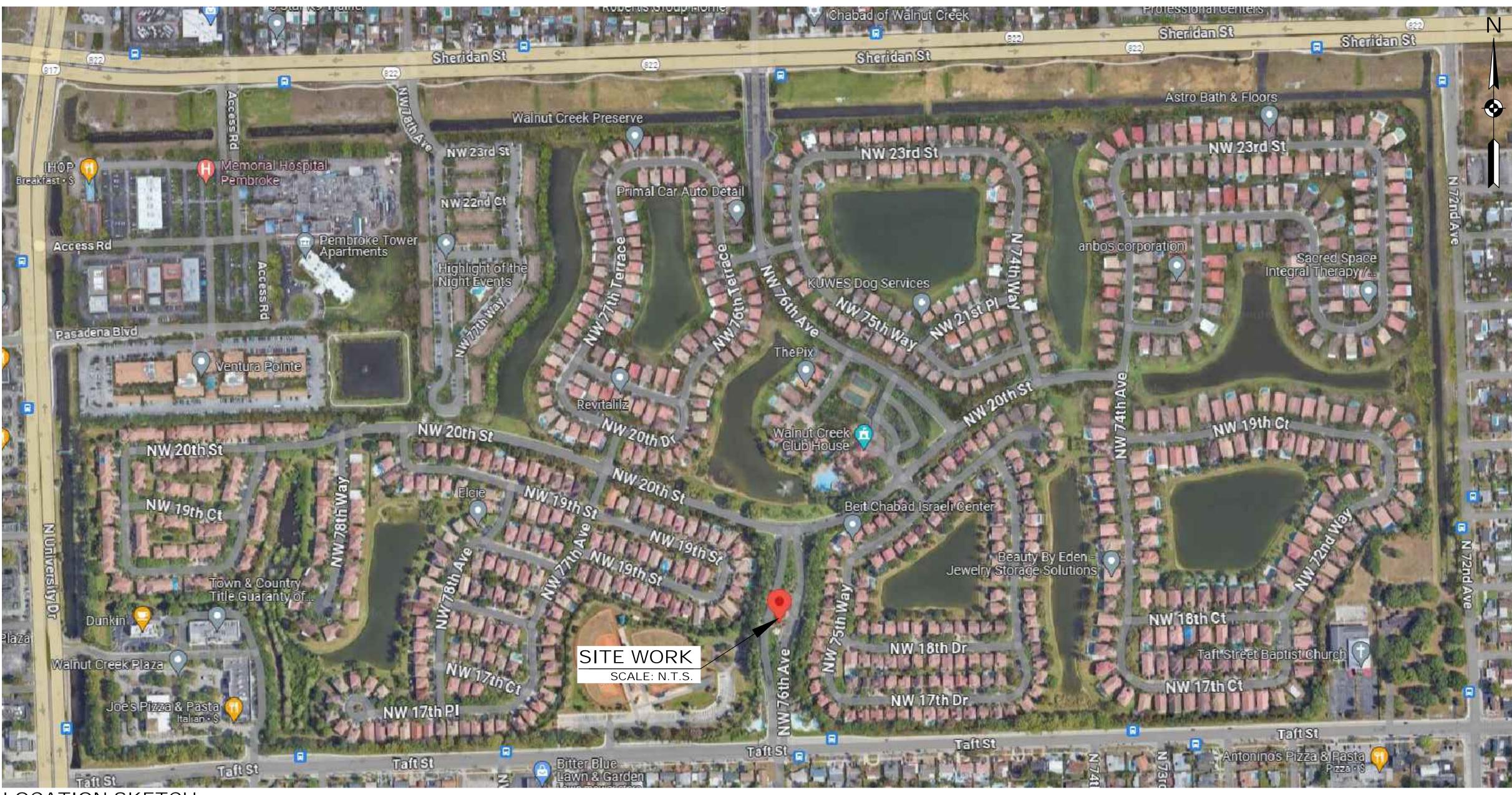
| | Terms | Rep | Αссοι | ınt # | | Project |
|---|--|---|---|-------|------|-------------|
| | Net 30 | RG | | | | |
| Descrip | tion | | | Qty | Cost | Total |
| maintenance equipment, severe weather, electrical surges, or ur to the customer. In the event of a disaster (i.e. hurricane, tornad reinstalled will be charged to the customer. *All lights are attached by staples and this pricing reflects using a will be an upcharge for alternate methods of attaching lights. *It is necessary many times to drive our trucks on sidewalks in o for any damage our trucks may do to the sidewalks. If you do no notify us in writing. * Any legal action brought by or against either party under the te the State of Florida, and venue and jurisdiction for said action sh Florida, respectively *Randy's Holiday Lighting must be allowed to install lights up to unplugged until your turn on date, we will ensure that your lights *If your lights are not working properly or changes need to be ma phone (561-452-8766) to request repair service. We guarantee the problem. **LICENSED & INSURED** | o, etc.) damaged lights/de staples. If, for any reason, rder to install holiday lights of want our trucks to drive rms of this Agreement sha all be within the county of 60 days prior to your turn of work properly on that date ade regarding the decoration | corations or lights t we cannot use sta but we will not be on your sidewalks, Il be determined by Palm Beach and th on date. The lights ons, please call Rai | hat must be ples, there responsible you must the laws of e State of will remain ndy's cell | | | |
| WE USE ONLY THE HIGHEST QUALITY COMMERCIAL GRAD SATISFACTION IS GUARANTEED. | DE PRODUCTS, YOUR | S | ubtotal | | | \$10,693.00 |
| | | S | ales Tax | (0.0% | 6) | \$0.00 |
| | | Т | otal | | | \$10,693.00 |

Print Name

| Phone # | Fax # | E-mail | Web Site |
|--------------|--------------|----------------------------------|---------------------------|
| 561-845-8000 | 561-845-8008 | office@randysholidaylighting.com | randysholidaylighting.com |

| Walnut Creek CDD Taft Visitors Entrance - Gate Trap Improvement Project | | | | | | | | | |
|---|---|------------------|---|--|--|--|--|--|--|
| Arking Solutions | The Certified General Contractors Group (CGC) | Regions Security | | | | | | | |
| Pembroke Pines FL | Pinecrest FL | Plantation FL | Miami FL | | | | | | |
| Arking Solution is the company that prepared the original plans & scope for this project, based on the Traffic Study performed by Caltran Engineering. | | | Regions Security is the current contractor in charge of the Access Control Systems in the community. | | | | | | |
| Scope of Work (per bid plans): - Installations of a Gate Trap Access System. - Gates access control and traffic calming controls for Public and Private Roads, considering Emergency Vehicles Response Criteria for gates. - Pavement and Route Way Work. - Electrical Work. | | | | | | | | | |
| Arking's proposal includes both, the civil work, and the Gate Trap Access Systems. | CGC's and Elite's Proposals are they do not supply the Gat | • | Regions Security proposal is inclusive of Gate Trap Access System, but does not include civil work. | | | | | | |

| \$43,850.00 Plus \$2,400.00 for the Permit Processing. | \$49,030.00 Permit Processing included. | \$66,280.00 Permit Processing included. | \$40,700.00 Permit Processing included. | | | | | | | |
|--|---|---|---|--|--|--|--|--|--|--|
| Total: \$46,250.00 | | | | | | | | | | |
| Permit Fees, payable to the City of Pembroke Pines or any other Government Agency are at an additional cost and not included in the presented proposals. | | | | | | | | | | |



LOCATION SKETCH SCALE: N.T.S.

GENERAL NOTES:

- 1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING
- CODE 2020 EDIT AND ALL REGULATORY LOCAL AND GOVERNMENTAL CODES. 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED BEFORE
- PROCEEDING WITH THE WORK. 3. CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS FOR THE CONSTRUCTION
- AND SUBSEQUENT OCCUPANCY OF THE PROJECT. 4. ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE DONE IN A NEAT AND WORKMAN LIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, RULES AND REGULATIONS HAVING
- JURISDICTION.
- 5. CONTRACTOR TO PROVIDE ALL SUPPLEMENTARY MATERIALS REQUIRED TO INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS.
- 6. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EQUIPMENT AND UTILITIES TO BE REMOVED. REMOVALS SHALL BE COORDINATED WITH THE OWNER AND ALL BUILDING AUTHORITIES HAVING JURISDICTION.
- 7. CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINED AS BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/ OR ADDITIONS TO THE WORK INCLUDING THE DRAWINGS.
- 8. IF ANY CHANGES AND/OR DEVIATIONS RE MADE TO THESE PLANS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND DEVIATIONS.
- 9. IF DURING THE COURSE OF CONSTRUCTION ANY DEVIATIONS ARE MADE AT THE FIELD, AGAIN, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND DEVIATIONS.
- 10. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR DESIGN CONFORMANCE ONLY.
- 11. SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY THE ARCHITECT OR ENGINEERS.
- 12. CONTRACTOR OR SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING HIS OPERATION AND ANY DAMAGE TO HIS WORK WHILE PROJECT IS UNDER CONSTRUCTION.
- 13. ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT WHERE THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED. IF THESE DRAWINGS OR ANY PART THERE OF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT. THE PERSON SO DOING WILL BE INDEBTED TO ARCHITECT FOR HIS FULL COMMISSION.

| DRAW | /ING |
|-------|------|
| C - 1 | СО |
| C - 2 | EX |
| E - 1 | ELE |
| E - 2 | ELE |
| E - 3 | ELE |
| | DE |
| E - 4 | ELE |
| | |

WALNUT CREEK GATE TRAP IMPROVEMENT

INDEX:

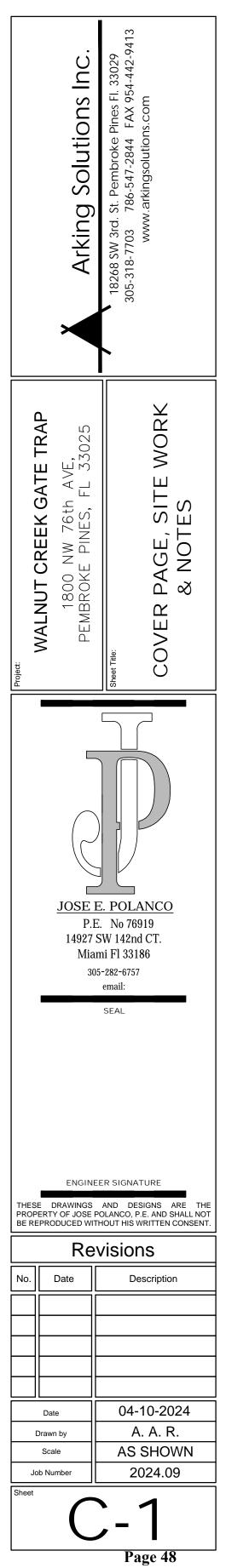
OVER PAGE, SITE WORK & NOTES (ISTING & PROPOSED FLOOR PLAN ECTRICAL COVER SHEET ECTRICAL PLANS ECTRICAL PANEL SCHEDULES, RISER DIAGRAM AND TAILS ECTRICAL SPECS

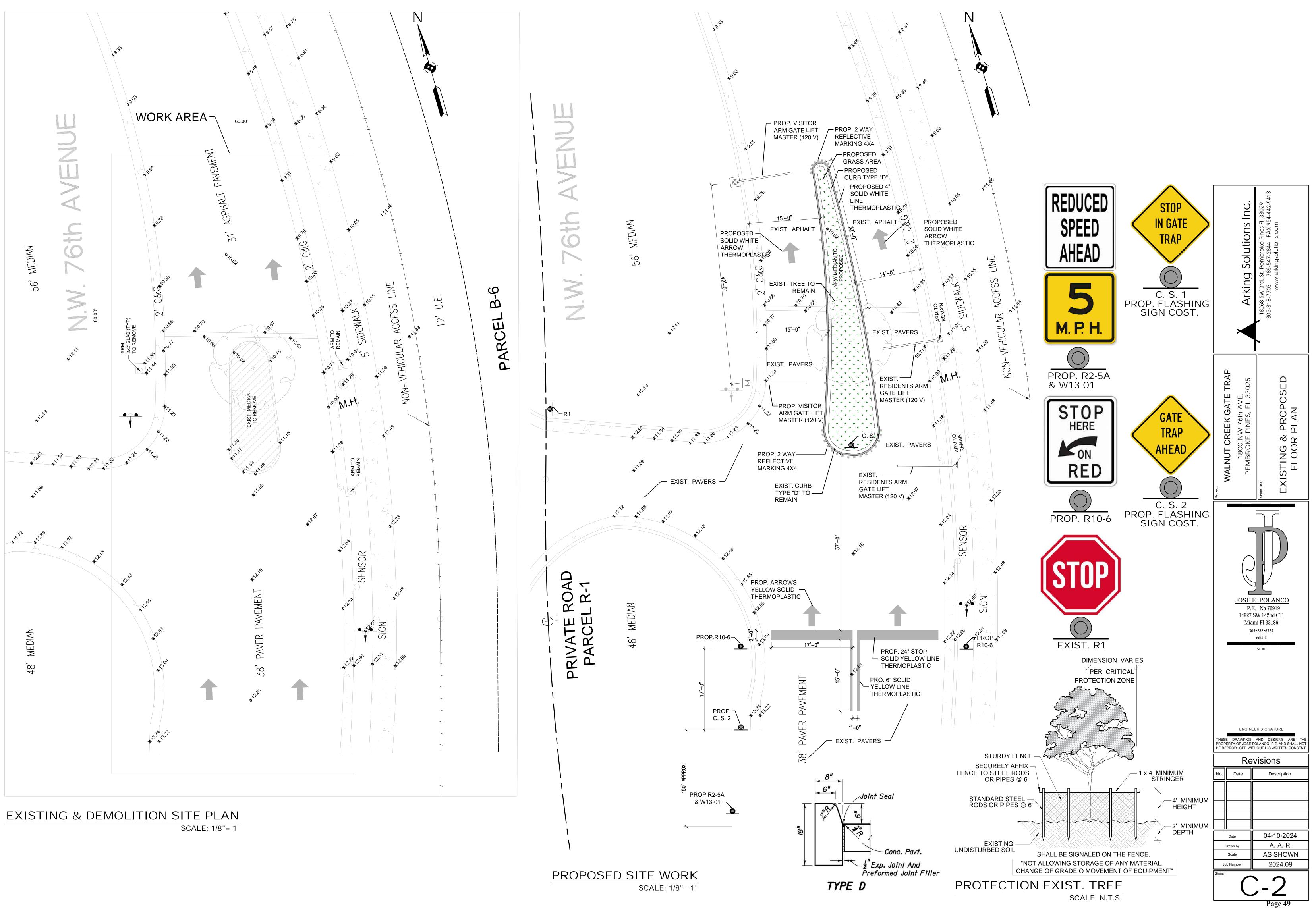
SCOPE OF WORK:

- INSTALLATION OF A GATE TRAP ACCESS SYSTEM.
- GATES ACCESS CONTROL AND TRAFFIC CALMING CONTROLS FOR PUBLIC AND PRIVATE ROADS CONSIDERING EMERGENCY VEHICLES RESPONSE CRITERIA FOR GATES.
- PAVEMENT AND ROUTE WAY WORK.
- ELECTRICAL WORK.
- NOT PLUMBING & MECHANICAL WORK.

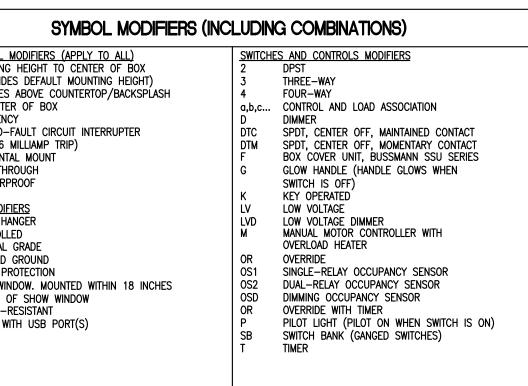
DEMOLITION NOTES:

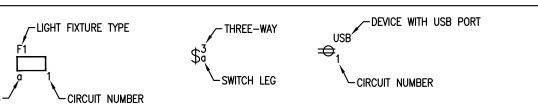
- 1. THIS PLAN IS INTENDED TO SHOW THE OVERALL SCOPE OF DEMOLITION WORK TO BE DONE. IT DOES NOT SHOW ALL OF THE SPECIFIC MINOR ITEMS EXISTING IN THE SPACE THAT WILL BE REQUIRED TO BE REMOVED TO COMPLETE THE WORK.
- 2. THE CONTRACTOR SHALL VISIT THE JOB SITE AND PERFORM A WALK THRU WITH THE OWNER TO IDENTIFY THE SPECIFIC ITEMS NOT SHOWN ON THIS PLAN THAT WILL BE REMOVED AND COORDINATE WHICH ITEMS WILL BE DISPOSED OF AND WHICH WILL BE GIVEN TO THE OWNER FOR HIS STORAGE.
- 3. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK, TRASH REMOVAL, STORAGE, ETC. WITH THE OWNER.
- 4. THE OWNER SHALL SUPPLY THE CONTRACTOR WITH AN ASBESTOS SURVEY IDENTIFYING ANY ITEMS THAT MAY HAVE ASBESTOS. THE CONTRACTOR SHALL FOLLOW THE SURVEY AND ANY ITEMS HAVING ASBESTOS SHALL BE REMOVED OR CONTAINED AS REQUIRED BY A CERTIFIED ASBESTOS ABATEMENT CONTRACTOR.
- 5. ALL WORK SHALL BE CUT, PATCHED OR MODIFIED AS REQUIRED AND REFINISHED AS WELL AS REFINISHING EXISTING ITEMS REMAINING TO BE REPRODUCED WITHOUT HIS WRITTEN CONSEN ACHIEVE A CONSISTENT FINISH AND A SATISFACTORY COMPLETED CONDITION.
- 6. THE CONTRACTOR SHALL PROVIDE SAFETY FEATURES OR METHODS DURING DEMOLITION AS REQUIRED BY APPLICABLE CODES, O.S.H.A. OR SPECIFICATIONS.
- 7. CONTRACTOR SHALL VERIFY ALL PLUMBING, MECHANICAL AND ELECTRICAL ITEMS TO BE REMOVED OR RELOCATED PRIOR TO PERFORMING THE WORK.
- 8. ALL SURFACES DAMAGED BY DEMOLITION SHALL BE REPAIRED AND REFINISHED TO MATCH ADJACENT SURFACES AND AS PER FINISH SCHEDULE.
- 9. REMOVE ALL EXISTING CABINETS, FURNITURE AND FIXTURES DEPICTED ON THE DRAWINGS. COORDINATE WITH THE OWNER, THE DISPOSAL OR STORAGE OF THESE ITEMS.
- 10.REMOVE ALL EXISTING FLOOR CARPET, TILE, ETC. AND PREPARE SURFACE TO RECEIVED NEW FINISHES PER FINISH AND/OR INTERIOR DESIGNERS SPECIFICATIONS OBSERVE ANY ITEMS ADDRESSED BY THE ASBESTOS SURVEY AS NOTED ABOVE.
- 11.CONTRACTOR IS TO VERIFY WITH THE OWNER AND IDENTIFY ALL EXISTING PIPES, CONDUITS, ETC. PRIOR TO DEMOLITION. CONTRACTOR SHALL IDENTIFY W/ PAINT ALL PIPES, CONDUITS, ETC. THAT ARE NOT GOING TO BE DEMOLISHED OR REMOVED.



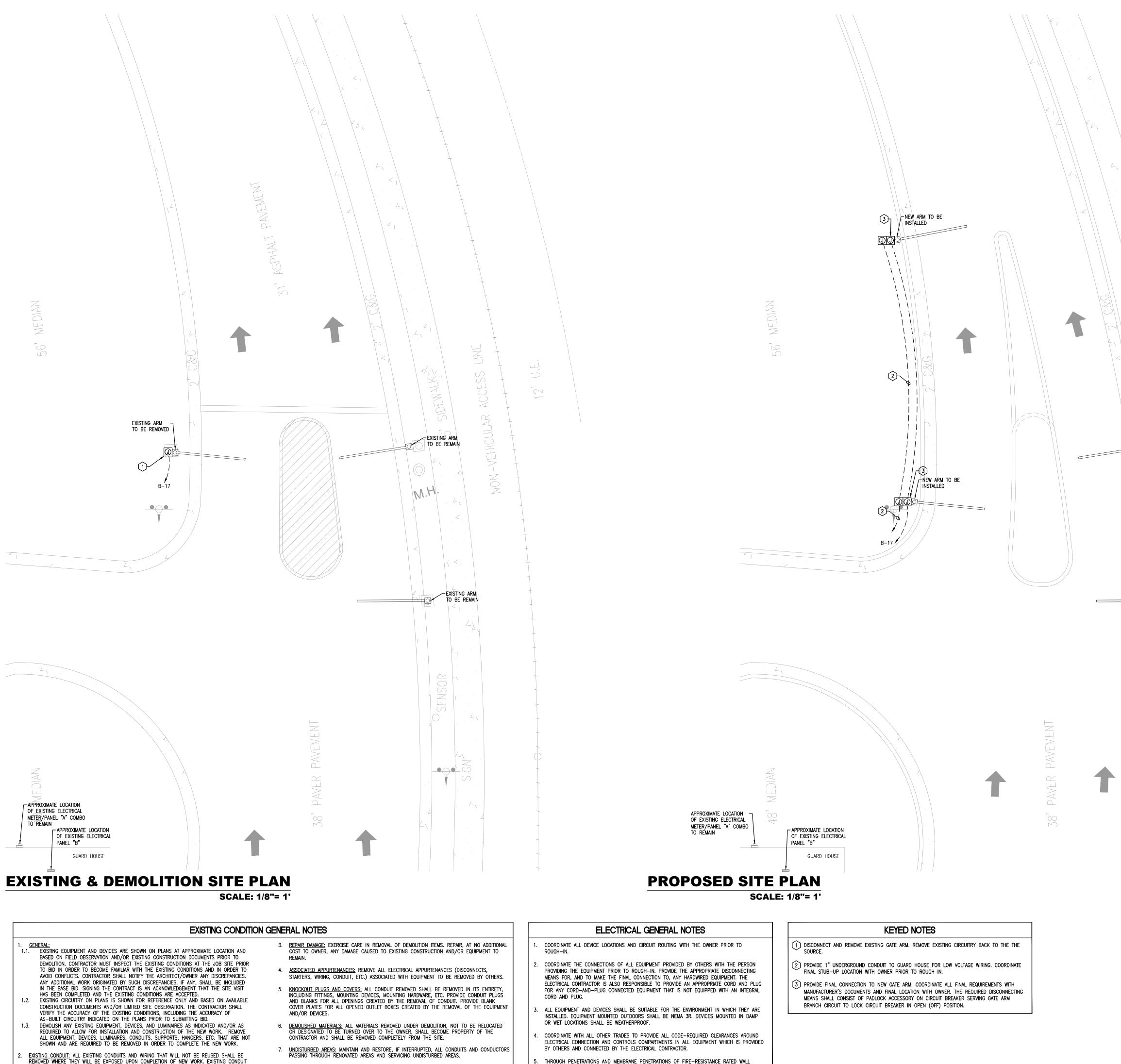


| ELECTRICAL SYMBOL LEGEND (SOME MAY NOT BE USED) | | | | | ABBREVIATIONS | | | |
|---|--|--------------------|--|---|--|---|--|----|
| SYMBOL. | DESCRIPTION | SYMBOL | DESCRIPTION | (GENERAL NOTES ARE PROVIDED AS A BASIC DESCRIPTION OF | THE EXTENT AND QUALITY EXPECTED IN THIS PROJECT. IF A CONFLICT EXISTS BETWE | EEN THESE GENERAL NOTES AND THE REMAINDER OF THE CONTRACT DOCUMENTS THE SPECIFICATIONS, PLANS AND DETAILS WILL GOVERN.) | AMPERES | / |
| | WALL MOUNTED SINGLE RECEPTACLE, NEMA 5-20R | | WALL MOUNTED QUADRUPLEX RECEPTACLE | | | | AUDIO ENHANCEMENT ABOVE FINISHED CEILING | |
| ⊕ | WALL MOUNTED DUPLEX RECEPTACLE | ¥ | WALL MOUNTED DEDICATED QUADRUPLEX RECEPTACLE | | NCE WITH THE NATIONAL ELECTRICAL CODE, 2020 EDITION (NEC), FLORIDA DA FIRE PREVENTION CODE 7TH EDITION AND THE CURRENT ADOPTED EDITIONS | 18. ALL CONDUCTORS SHALL BE COPPER, TYPE THHN/THWN EXCEPT WHERE OTHERWISE REQUIRED BY U.L. OR CODES. MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONTROL WIRING. ALUMINUM CONDUCTORS ARE NOT PERMITTED. | ABOVE FINISHED FLOOR | |
| | | | | OF ALL LOCAL CODES, RULES AND ORDINANCES. | | 19. ALL CONDUIT RUNS ARE SHOWN DIAGRAMMATIC. EXACT ROUTING SHALL BE DETERMINED IN THE FIELD. UNLESS OTHERWISE | ABOVE FINISHED GRADE AMPERES INTERUPTING CAPACITY | |
| | WALL MOUNTED DEDICATED DUPLEX RECEPTACLE | * | WALL MOUNTED QUADRUPLEX RECEPTACLE, SPLIT-WRED | | PLICABLE STANDARDS, FOR THE TYPE OF EQUIPMENT AND INTENDED USE, OF | NOTED. | AMERICAN WIRE GAUGE | / |
| ÷ | WALL MOUNTED DUPLEX RECEPTACLE, ONE RECEPTACLE SWITCHED OR SPLIT-WIRED | Ø | WALL MOUNTED SPECIAL RECEPTACLE, NEMA CONFIGURATION AS NOTED | THE FOLLOWING: A. AMERICAN NATIONAL STANDARDS INSTITUTE | (ANSI) | 20. PROVIDE FIRE RETARDANT U.L. APPROVED SEALANT ON ALL PENETRATIONS OF FIRE RATED PARTITIONS, WALLS AND STRUCTURAL | BELOW FINISHED CEILING BELOW FINISHED GRADE | |
| - | WALL MOUNTED DUPLEX RECEPTACLE, MOUNTED ABOVE STANDARD HEIGHT OR ABOVE COUNTER | € | WALL MOUNTED RANGE RECEPTACLE, NEMA 14-50R UNLESS INDICATED OTHERWISE | B. ILLUMINATING ENGINEERS SOCIETY (IES) C. AMERICAN SOCIETY FOR TESTING AND MATE | | SLABS. CONTRACTOR TO VERIFY, PRIOR TO STRUCTURAL SLABS. | CONDUIT | |
| # | WALL MOUNTED DUPLEX GFCI RECEPTACLE | # | WALL MOUNTED DUPLEX GFCI RECEPTACLE, MOUNTED ABOVE STANDARD HEIGHT OR ABOVE COUNTER | D. NATIONAL ELECTRICAL MANUFACTURER'S AS | SOCIATES.(NEMA) | 21. UNLESS NOTED AS EXISTING, ALL EQUIPMENT, WIRING, DEVICES, ETC. SHALL BE NEW. | CABINET CIRCUIT | |
| Ð | FLUSH FLOOR MOUNTED SINGLE RECEPTACLE, NEMA 5-20R | Ð | FLUSH FLOOR MOUNTED QUADRUPLEX RECEPTACLE | E. NOTES: THESE STANDARDS ARE SUBORDINA | ITE TO CADES AND STANDARDS SET BY U.L. | 22. ALL CIRCUIT BEAKERS SHALL BE INVERSE TIME TYPE (THERMAL MAGNETIC OR SOLID STATE AS REQUIRED BY SPECIFICATION). | CEILING | |
| | FLUSH FLOOR MOUNTED DUPLEX RECEPTACLE | | FLUSH FLOOR MOUNTED DEDICATED QUADRUPLEX RECEPTACLE | 3. ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, SHA WHERE STANDARDS HAVE BEEN ESTABLISHED BY | LL BE LISTED, INTENDED USE, WITH UNDERWRITER'S LABORATORIES INC. (U.L.), | TWO AND THREE POLE CIRCUIT BREAKERS SHALL BE COMMON TRIP. NO TIE HANDLES PERMITTED. | CENTERLINE | |
| | | | FLUSH FLOOR MOUNTED QUADRUPLEX RECEPTACLE, | | | 23. ALL FUSES SHALL BE CURRENT LIMITING, PER U.L. RATED 600V, UON. A. NON-TIME DELAY FUSES IN MAIN SWITCHES AND SWITCHES FEEDING PANELS. | CURRENT TRANSFORMERS | (|
| | FLUSH FLOOR MOUNTED DEDICATED DUPLEX RECEPTACLE | | | 4. CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS NOTED ON THE DRAWINGS. | AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND/OR | B. TIME DELAY FUSES FOR MOTOR AND A/C CIRCUITS. | DISCONNECT(ING) | [|
| $\mathbf{\Phi}$ | FLUSH FLOOR MOUNTED DUPLEX RECEPTACLE, SPLIT-WRED | Ø | FLUSH FLOOR MOUNTED SPECIAL RECEPTACLE, NEMA CONFIGURATION AS NOTED | 5. THE CONTRACTOR SHALL VISIT THE JOB SITE AND |) verify all conditions. Locations. Dimensions and counts as shown or | 24. ALL DISCONNECT SWITCHES SHALL BE SIZED BY NEC REQUIREMENTS TO ACCOMMODATE EQUIPMENT SERVED, INCLUDING | DRAWING(S) EACH | I |
| Θc | CEILING MOUNTED SINGLE RECEPTACLE, NEMA 5-20R (C=FLUSH CEILING, DC=DROPCORD) | ∰ | CEILING MOUNTED QUADRUPLEX RECEPTACLE (C=FLUSH CEILING, DC=DROPCORD) | NOTED ON THE DRAWINGS, PRIOR TO SUBMITTING | | REQUIRED FUSES U.O.N. SWITCHES SHALL BE HORSEPOWER RATED FOR MAX. HORSEPOWER, HEAVY DUTY TYPE. | EXISTING | |
| Фc | CEILING MOUNTED DUPLEX RECEPTACLE (C=FLUSH CEILING, DC=DROPCORD) | c | CEILING MOUNTED DEDICATED QUADRUPLEX RECEPTACLE (C=FLUSH CEILING, DC=DROPCORD) | | ACTOR TO PROVIDE ALL LABOR, MATERIALS AND SUPERVISION OF THE | 25. CONTRACTOR SHALL VERIFY CIRCUIT PROTECTIVE DEVICE RATING FOR EQUIPMENT PRIOR TO INSTALLATION. | EXHAUST FAN ELECTRICAL METALLIC TUBING | |
| Dc | CEILING MOUNTED DEDICATED DUPLEX RECEPTACLE (C=FLUSH CEILING, DC=DROPCORD) | | CEILING MOUNTED QUADRUPLEX RECEPTACLE, SPLIT-WIRED (C=FLUSH CEILING, DC=DROPCORD) | CONTRACTOR TO ACCOMPLISH THE WORK AS SHO | WN AND/OR NOTED ON THE PLANS. | 26. WHEN ELECTRICAL BOXES ARE LOCATED IN VERTICAL FIRE RESISTIVE ASSEMBLIES, (CLASSIFIED AS FIRE/SMOKE AND SMOKE | ELECTRICAL METALLIC TUBING EQUIPMENT | EC |
| | CEILING MOUNTED DUPLEX RECEPTACLE, SPLIT-WRED (C=FLUSH CEILING, DC=DROPCORD) | © c | CEILING MOUNTED SPECIAL RECEPTACLE, NEMA CONFIGURATION AS NOTED (C=FLUSH CEILING, DC=DROPCORD) | 7. ELECTRICAL CONTRACTOR SHALL NOT SCALE DRAV FOR EXACT LOCATIONS OF ALL EQUIPMENT UNLES | WINGS. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND ELEVATIONS | PARTITIONS), THEY SHALL BE INSTALLED WITHOUT AFFECTING THE FIRE CLASSIFICATION, ALL OF THE FOLLOWING CONDITIONS SHALL BE MET: | ELECTRIC UNIT HEATER | l |
| | (C=FLUSH CEILING, DC=DROPCORD) WALL MOUNTED JUNCTION/OUTLET BOX | | CEILING MOUNTED JUNCTION/OUTLET BOX | | | A. ALL ELECTRICAL BOXES SHALL BE METALLIC. B. BOX OPENING SHALL OCCUR ONLY ON ONE SIDE OF FRAMING SPACE. | ELECTRIC WATER COOLER ELECTRIC WATER HEATER | |
| -0 | , | () () () | · · · · · · · · · · · · · · · · · · · | CLASS WORKMANLIKE MANNER. SAID CONTRACTOR | ORMED SHALL BE DONE BY A LICENSED CONTRACTOR AND IN A FIRST - SHALL MEET ALL REQUIREMENTS SET FORTH BY ANY LOCAL ORDINANCE AND | C. BOX OPENING SHALL NOT EXCEED 10322.56 SQUARE MM (16SQIARE INCHES). | EXHAUST | _ |
| \bigcirc | FLUSH FLOOR MOUNTED JUNCTION/OUTLET BOX | \bigcirc | JUNCTION BOX MOUNTED ABOVE CEILING | GOVERNING AUTHORITIES. | | D. ALL CLEARANCES BETWEEN OUTLET BOX AND GYPSUM BOARD SHALL BE COMPLETELY FILLED WITH JOINT COMPOUND (OR OTHER APPROVED MATERIAL). | EXISTING EXPLOSION PROOF | E |
| | CIRCUITRY, CONCEALED IN WALL OR CEILING | P | POWER POLE | 9. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED DAMAGE FOR THE DURATION OF THE WORK. | INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY | E. PROVIDE A WALL AROUND OUTLETS LARGER THAT 10322.56 SQUARE MM (16 SQUARE INCHES). THE INTEGRITY OF THE WALL RATING SHALL BE MAINTAINED. | FIRE ALARM | |
| | CIRCUITRY, CONCEALED IN OR UNDER FLOOR | T | TELECOMMUNICATIONS POLE | | and workmanship free from defects for a period of not less than | F. THE TOTAL AGGREGATE SURFACE AREA OF THE BOXES SHALL NOT EXCEED 64516 SQUARE MM (100 SQUARE INCHES) | FULL LOAD AMPERES FLUORESCENT | F |
| | CIRCUITRY, EXPOSED | TP | TWO-CHANNEL TELECOMMUNCATIONS AND POWER POLE | 10. CONTRACTOR SHALL GUARANTEE ALL MATERIALS A ONE YEAR FROM DATE OF ACCEPTANCE, UNLESS | | PER 9.29 SQUARE METERS (100 SQUARE FEET). G. OUTLET BOXES SHALL BE SECURELY FASTENED TO WALL FRAMING MEMBERS. | GROUND FAULT CIRCUIT INTERRUPTER | Г |
| | | UCP | UNDERCARPET FLAT CONDUCTOR CABLE WIRING SYSTEM, POWER | 11. IT SHALL NOT BE THE INTENT OF THESE PLANS | AND/OR SPECIFICATIONS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. | H. OUTLET BOXES SHALL BE SECURELY FASTENED TO WALL FRAMING MEMBERS. I. THE OPENING IN THE GYPSUM BOARD FACING SHALL BE CUT NOT TO EXCEED 3.175MM (1/8 INCH) BETWEEN THE | GROUND FAULT PROTECTION GROUND | |
| ×++. | CIRCUIT HOMERUN. THE NUMBER OF ARROWS INDICATES THE NUMBER OF CIRCUITS. TWO WIRES UNLESS NOTED OTHERWISE; SLASHES INDICATE NUMBER OF WIRES. EQUIPMENT GROUND WIRE IS REQUIRED BUT NOT INDICATED. A 7 INDICATES ISOLATED GROUND CONDUCTOR. | UCT | UNDERCARPET FLAT CONDUCTOR CABLE WIRING SYSTEM, TELEPHONE | | AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE | I. THE OPENING IN THE GYPSUM BOARD FACING SHALL BE CUT NOT TO EXCEED 3.175MM (1/8 INCH) BETWEEN THE EDGES OF THE OPENING. | HEIGHT | |
| | OF WIRES. EQUIPMENT GROUND WIRE IS REQUIRED BUT NOT INDICATED. A 7 INDICATES ISOLATED GROUND CONDUCTOR. | | | | REPAIRING TO ORIGINAL CONDITIONS, ANY AND ALL DAMAGES TO BUILDING | 27. CONTRACTOR SHALL PROVIDE A TYPE WRITTEN DIRECTORY OF EACH PANELBOARD. HAND WRITTEN DIRECTORY IS NOT | HIGH INTENSITY DISCHARGE HIGH PRESSURE SODIUM | |
| | | | UNDERCARPET FLAT CONDUCTOR CABLE WIRING SYSTEM, DATA | SURFACES. EQUIPMENT. ETC. CAUSED DURING TH | | ACCEPTABLE, EXCEPT SHARE AND SPACES SHALL BE HANDWRITTEN IN PENCIL. | HAND-OFF-AUTOMATIC | |
| | CONDUIT STUB | Q | WIRE LOOP FOR FUTURE CONNECTION, 10'-0" MINIMUM SLACK | 13. CORRECTION OF ANY DEFECTS SHALL BE COMPLE | ETED WITHOUT ADDITIONAL CHARGE OR DELAYS AND SHALL INCLUDE | 28. A. WORKING CLEARANCES FOR ELECTRICAL EQUIPMENT SHALL BE IN COMPLIANCE WITH NEC 110.26 | HORSEPOWER | |
| <u>_</u> | CONDUIT/CIRCUIT BREAK AND CONTINUED ELSEWHERE | ¢ | VERTICAL CONDUIT/CIRCUIT | | OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY. | | HEATING/VENTILATING/AIR CONDITIONER HIGH VOLTAGE | |
| | METER AND SOCKET | (M) | MOTOR | | WORK OF BEING PREFORMED, FREE FROM DEBRIS AT ALL TIMES AND SAID | B. THE EXCLUSIVELY DEDICATED SPACE EXTENDING FROM FLOOR TO STRUCTURAL CEILING WITH A WIDTH AND DEPTH OF THE PANELBOARD MUST BE CLEAR OF ALL PIPING, DUCTS, EQUIPMENT FOREIGN TO THE ELECTRICAL EQUIPMENT OR | INCANDESCENT | |
| | LIGHTING AND APPLIANCE PANELBOARD, SURFACE MOUNTED | XX RPS | REMOTE LIGHTING POWER SUPPLY/TRANSFORMER; (XX = WATT RATING) | AREAS SHALL BE LEFT BROOM CLEAN AT THE EN | ND OF EACH WORKING DAY. | ARCHITECTURAL APPURTENANCES IN ACCORDANCE WITH NEC 408. | JUNCTION BOX KILO-VOLTS | |
| | LIGHTING AND APPLIANCE PANELBOARD, FLUSH MOUNTED | | TRACK LIGHTING END FEED | 15. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES | S, INSPECTIONS, AND TESTING COSTS. | 29. THE ELECTRICAL CONTRACTOR SHALL FURNISH A COMPLETE SET OF AS-BUILT DRAWINGS, SHOWING ALL CHANGES AND | KILO-VOLTS-AMPERES | |
| | | | | 16. COORDINATE ALL ELECTRICAL SITE WORK WITH AL | L OTHER TRADES CONTRACTORS. | DEVIATIONS TO THE ARCHITECT/ENGINEER PRIOR TO COMPLETION OF THE PROJECT. | KILO-VOLTS-AMPERES REACTIVE KILO-WATTS | |
| | OTHER EQUIPMENT AS NOTED | TR | LOW VOLTAGE CONTROL TRANSFORMER | | RICAL CONTRACTOR FOR THE ADVANCE ORDERING OF LONG LEAD ITEMS, AS TO | 30. ARCHITECTURAL AND/OR ENGINEERING EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THE CONTRACTOR. | KILO-WATT-HOURS | |
| \$ | SWITCH, SPST UNLESS INDICATED OTHERWISE, HORSEPOWER RATED WHEN USED IN CONJUNCTION WITH MOTORS | • | PUSHBUTTON STATION, ONE BUTTON | ORDER ANY ITEMS UNTIL APPROVED SHOP DRAWI | ADES RESULTING IN ANY DOWN OR LAG TIME. THE CONTRACTOR SHALL NOT NGS ARE RETURNED TO HIM. | | LIGHTING | |
| ¢\$ | CEILING MOUNTED OCCUPANCY SENSOR | •• | PUSHBUTTON STATION, TWO BUTTON | | | | MILLIMETER | |
| <u>۲۲</u> 0S | WALL MOUNTED OCCUPANCY SENSOR | ••• | PUSHBUTTON STATION, THREE BUTTON | | | | MAXIMUM MAIN CIRCUIT BREAKER | |
| <u>ښ</u> | CEILING MOUNTED DAYLIGHT SENSOR | 4 | SAFETY SWITCH, CHARACTERISTICS AS INDICATED | | | | MOTOR CONTROL CENTER | |
| <u>~</u> @ | CEILING MOUNTED MOTION SENSOR | | DISCONNECT SWITCH PROVIDED BY EQUIPMENT MANUFACTURER INTEGRAL WITH EQUIPMENT | | | | MOTOR CIRCUIT PROTECTOR MANUFACTURER | |
| | AUTOMATIC TIMECLOCK | | EQUIPMENT ENCLOSED CIRCUIT BREAKER, CHARACTERISTICS AS INDICATED | | | | METAL HALIDE | |
| | | | | SYMBOL MODIFIERS (IN | NCLUDING COMBINATIONS) | SCOPE OF WORK | | |
| RC | ROOM CONTROLLER | | MAGNETIC MOTOR STARTER | GENERAL SYMBOL MODIFIERS (APPLY TO ALL) | SWITCHES AND CONTROLS MODIFIERS | THE SCOPE FOR THIS PROJECT CONSISTS OF OF TWO NEW GATE ARMS IN A RESIDENTIAL CONDO ENTRY. THE ELECTRICAL SCOPE WILL INCLUDE: | MISCELLANEOUS MOTOR | |
| ▼ | WALL MOUNTED TELEPHONE OUTLET; *P DENOTES NUMBER OF TELEPHONE PORTS | \bigtriangledown | WALL MOUNTED DATA OUTLET; *D DENOTES NUMBER OF DATA PORTS | +XX [®] MOUNTING HEIGHT TO CENTER OF BOX (OVERRIDES DEFAULT MOUNTING HEIGHT) | 2 DPST 3 THREE-WAY | 1. POWER INSTALLATION FOR TWO NEW GATE ARMS, NEW GATE ARMS WILL BE FED FROM AN EXISTING ELECTRICAL PANEL LOCATED AT THE | MOUNTED | |
| ▼ | FLUSH FLOOR MOUNTED TELEPHONE OUTLET; *P DENOTES NUMBER OF TELEPHONE PORTS | \bigtriangledown | FLUSH FLOOR MOUNTED DATA OUTLET; *D DENOTES NUMBER OF DATA PORTS | ACH 6 INCHES ABOVE COUNTERTOP/BACKSPLASH | 4 FOUR-WAY | CONDO GUARD HOUSE. | MOUNTING NATIONAL ELECTRICAL CODE | |
| | CEILING MOUNTED TELEPHONE OUTLET; *P DENOTES NUMBER OF TELEPHONE PORTS | ⊠c | CEILING MOUNTED DATA OUTLET; *D DENOTES NUMBER OF DATA PORTS | TO CENTER OF BOX EM EMERGENCY | a,b,c CONTROL AND LOAD ASSOCIATION D DIMMER | | PANEL | |
| | WALL MOUNTED COMBINATION TELEPHONE AND DATA OUTLET; *P/*D DENOTES NUMBER OF TELEPHONE/DATA PORTS | | FLUSH FLOOR MOUNTED COMBINATION TELEPHONE AND DATA OUTLET; *P/*D DENOTES NUMBER OF TELEPHONE/DATA PORTS | GFCI GROUND-FAULT CIRCUIT INTERRUPTER (4 TO 6 MILLIAMP TRIP) | DTC SPDT, CENTER OFF, MAINTAINED CONTACT DTM SPDT, CENTER OFF, MOMENTARY CONTACT | | PULL STATION INSIDE POLYVINYL CHLORIDE | |
| v | | | | H HORIZONTAL MOUNT | F BOX COVER UNIT, BUSSMANN SSU SERIES | | RECEPTACLE | |
| AΡ ») | WIRELESS ACCESS POINT | L ™ c | CEILING MOUNTED COMBINATION TELEPHONE AND DATA OUTLET; *P/*D DENOTES NUMBER OF TELEPHONE/DATA PORTS | PT POKE-THROUGH WP WEATHERPROOF | G GLOW HANDLE (HANDLE GLOWS WHEN SWITCH IS OFF) | | | |
| M | WALL MOUNTED CCTV CAMERA | C | CEILING MOUNTED CCTV CAMERA | RECEPTACLE MODIFIERS | K KEY OPERATED LV LOW VOLTAGE | SHEET INDEX | RIGID GALVANIZED STEEL TELEPHONE | |
| TV] | CCTV MONITOR OUTLET | | CEILING MOUNTED CCTV CAMERA WITH DOME COVER | CH CLOCK HANGER | LVD LOW VOLTAGE DIMMER | ELECTRICAL DRAWING | TYPICAL | |
| CP | CONTROLLED ACCESS CONTROL PANEL | PE | CONTROLLED ACCESS "PUSH TO EXIT" PUSHBUTTON | CR CONTROLLED HG HOSPITAL GRADE | M MANUAL MOTOR CONTROLLER WITH OVERLOAD HEATER | E-01 ELECTRICAL COVER SHEET. | UNLESS OTHERWISE NOTED VOLTS | |
| <u>s</u> | CONTROLLED ACCESS ELECTRIC DOOR STRIKE | | CONTROLLED ACCESS CARD READER | IG ISOLATED GROUND SP SURGE PROTECTION | OR OVERRIDE OS1 SINGLE-RELAY OCCUPANCY SENSOR | E=01 ELECTRICAL COVER SHEET. E=02 ELECTRICAL PLANS. | VOLT-AMPERES | |
| | CONTROLLED ACCESS ELECTRIC DOOR STRIKE RELEASE SENSOR | | CONTROLLED ACCESS BIOMETRIC READER | SR SHOW WINDOW. MOUNTED WITHIN 18 INCHES | OS2 DUAL-RELAY OCCUPANCY SENSOR | E=02 ELECTRICAL PLANS. E=03 ELECTRICAL PANEL SCHEDULES, RISER DIAGRAM, AND DETAILS | VARIABLE FREQENCY CONTROLLER VAPOR PROOF | |
| R | | | | OF TOP OF SHOW WINDOW TR TAMPER-RESISTANT | OR OVERRIDE WITH TIMER | E-04 ELECTRICAL SPECS. | WATTS | |
| IL] | CONTROLLED ACCESS MAGNETIC LOCK | СКР | CONTROLLED ACCESS KEYPAD | USB DEVICE WITH USB PORT(S) | P PILOT LIGHT (PILOT ON WHEN SWITCH IS ON) SB SWITCH BANK (GANGED SWITCHES) | | WEATHER PROOF TRANSFORMER | |
| P | INTRUSION DETECTION CONTROL PANEL | DC | INTRUSION DETECTION DOOR CONTACT | | T TIMER | | | |
| 3KP | INTRUSION DETECTION SECURITY KEYPAD | GB | INTRUSION GLASS BREAK SENSOR | | | | | |
| ð | CEILING MOUNTED INTRUSION DETECTION MOTION SENSOR | GBC | CEILING MOUNTED INTRUSION GLASS BREAK SENSOR | | | | | |
| <u>∽</u> M | WALL MOUNTED INTRUSION DETECTION MOTION SENSOR | HU I | INTRUSION HOLD-UP BUTTON | TYPICAL DEV | ICE DESIGNATION | | | |
| | SOUND SYSTEM AMPLIFIER | | FLUSH FLOOR MOUNTED TELEVISION OUTLET | | | | | |
| | | | | LIGHT FIXTURE TYPE | - THREE-WAY USB | | | |
| VC | VOLUME CONTROL | TVc | CEILING MOUNTED TELEVISION OUTLET | | \Rightarrow_1 | | | |
| 5> | CEILING MOUNTED SPEAKER | ΗΤ∨ | WALL MOUNTED TELEVISION OUTLET | | | | | |
| Ŝ | WALL MOUNTED SPEAKER | IC | INTERCOM UNIT | SWITCH LEG | | | | |
| S _G | GROUND MOUNTED SPEAKER | М | MASTER INTERCOM UNIT | | | | | |
| $\frac{2}{0}$ | AUTOMATIC SMOKE DETECTOR, WALL MOUNTED | | | | | | | |
| _ | AUTOMATIC SMOKE DETECTOR, WALL MOONTED | | | | | | | |
| · / \ | T ACTUMATE SMOKE DETECTOR CETTING MOUNTED | | 1 | | | | | |
| D D _{co} | AUTOMATIC COMBINATION CARBON MONOXIDE/SMOKE DETECTOR, CEILING MOUNTED | | | | | | | |







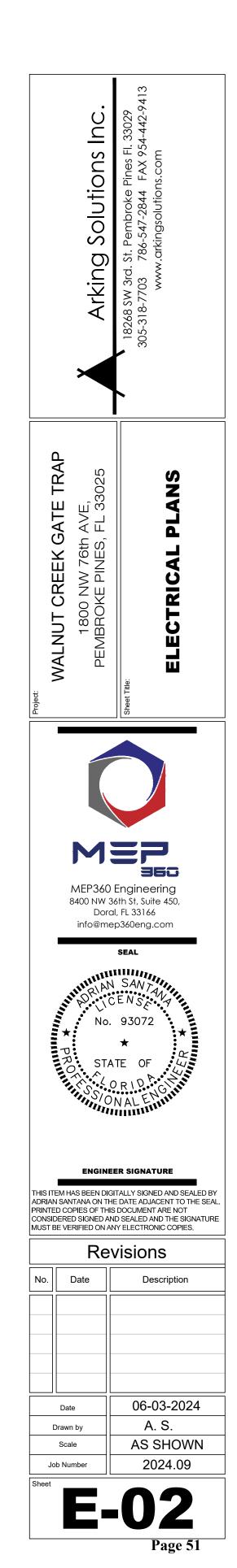


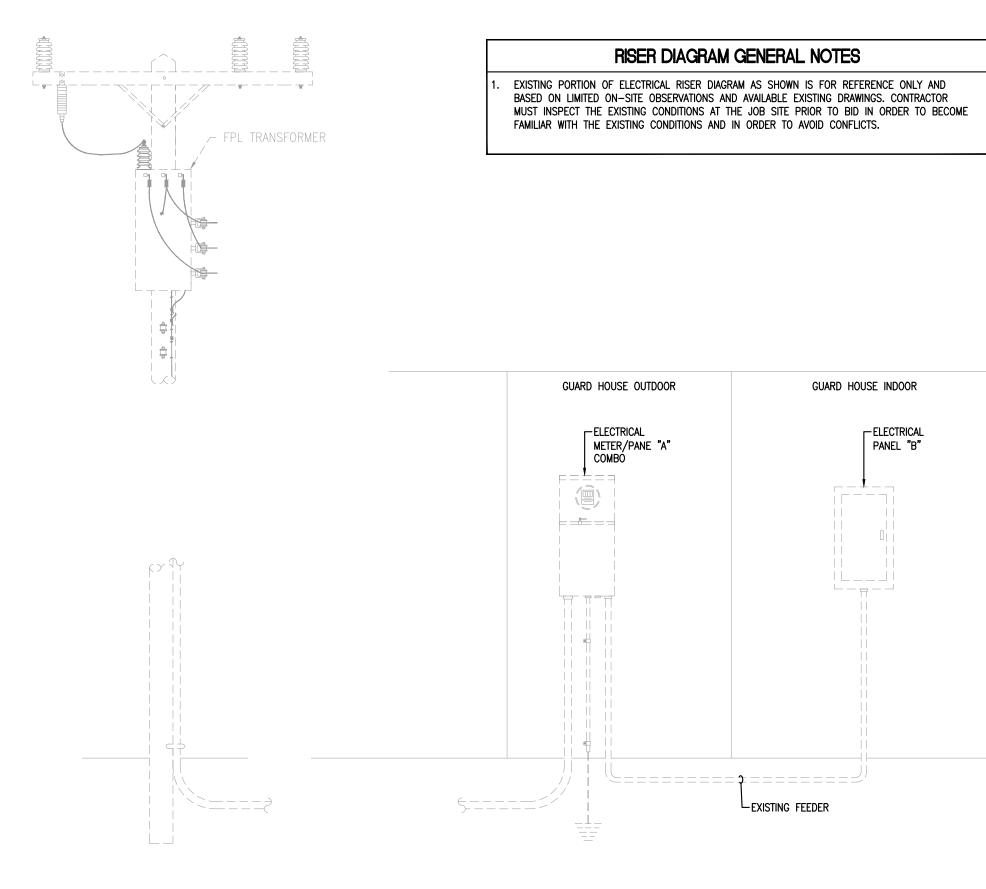
- EXISTING CONDUIT: ALL EXISTING CONDUITS AND WIRING THAT WILL NOT BE REUSED SHALL BE REMOVED WHERE THEY WILL BE EXPOSED UPON COMPLETION OF NEW WORK. EXISTING CONDUIT TO REMAIN CONCEALED IN WALLS SHALL BE ABANDONED. EXISTING CONDUIT TO REMAIN BELOW FLOOR SLAB SHALL BE CUT OFF ONE INCH BELOW ROUGH FLOOR AND GROUTED FLUSH. ALL EXISTING WIRING IN CONDUITS TO BE ABANDONED SHALL BE DISCONNECTED FROM POWER SOURCE AND REMOVED.

- 8. <u>EXISTING CIRCUITS:</u> IF DURING THE COURSE OF CONSTRUCTION, IT IS DETERMINED BY THE CONTRACTOR THAT AN EXISTING CIRCUIT BECOMES SPARE, THE CONTRACTOR SHALL UPDATE THE PANELBOARD DIRECTORY TO INDICATE SUCH, EVEN IF IT IS NOT EXPLICITLY MARKED ON THE ELECTRICAL PLANS.

HORIZONTAL ASSEMBLIES SHALL BE PROTECTED BY AN APPROVED UL-LISTED FIRES STOP SYSTEM IN ACCORDANCE WITH F.B.C CHAPTER 7. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION REGARDING ANY SPECIFIC FIRE STOP SYSTEM TO BE USED IN THIS PROJECT.



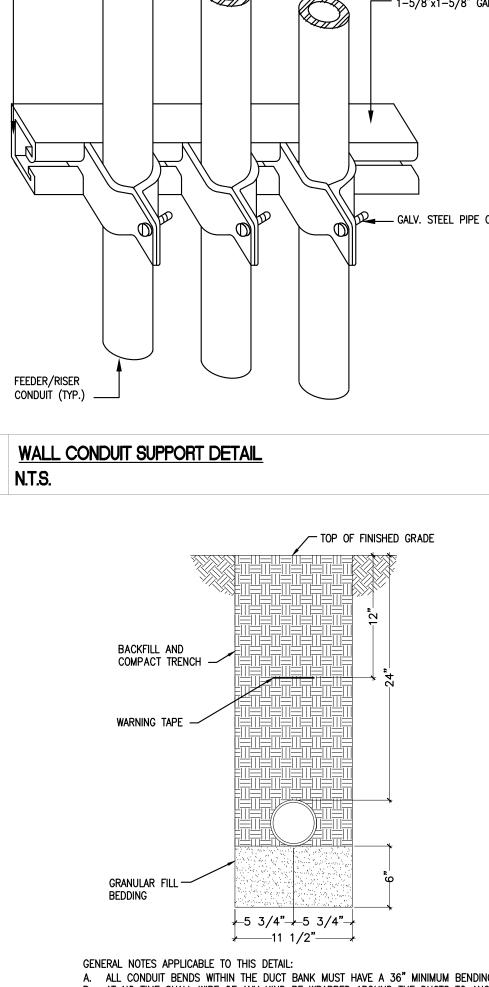




EXISTING ELECTRICAL RISER DIAGRAM NOT TO SCALE

REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR SUPPORT STRUCTURE. THREADED HANGER ROD-LENGTH AS REQUIRED. ____ SQUARE WASHER, LOCKWASHER AND HEX NUT (EACH SIDE) GALV. STEEL CHANNEL 1–5/8"x1–5/8" (APPROX. 200 #/100'). 0) GALV. STEEL PIPE CLAMP AT -EACH CONDUIT. CEILING CONDUIT SUPPORT DETAIL 2 N.T.S. 1 OR 2 HOUR FIRE RATED THROUGH PENETRATION FIRESTOP FOR SINGLE METAL PIPE THROUGH GYPSUM WALLS USING FYRE — SHIELD. 2 HOUR FIRE RATED THROUGH PENETRATION FIRESTOP FOR SINGLE METAL PIPE THROUGH CONCRETE FLOORS OR BLOCK WALLS USING TREMSTOP ACRYLIC. F-RATING = 2 HR. T-RATING = 0 HR. r^{2} F-RATING = 1 AND 2 HR. T-RATING = 0 HR. r(1)UL # WL1051 2 (2) ن خد ام -3 \bigcirc $\begin{array}{c} \hline 1 \\ & \text{PRE-RATED CONCRETE FLOORS OR BLOCK} \\ & \text{WALLS} = \text{MIN. } 4-1/2" \text{ THICK, WITH ANNULAR} \\ & \text{SPACE RANGE OF 0" TO 7/8".} \end{array}$ 2 CONDUIT - NOM. 4" DIA. (OR SMALLER) STEEL CONDUIT OR EMT. 1 OR 2 – HOUR FIRE RATED GYPSUM WALLBOARD/STUD ASSEMBLY (ANGULAR SPACE RANGE, MIN. 1/4" TO MAX. 5/8") 3 PACKING MATERIAL – MINERAL WOOL (MIN. 4 PCF) COMPRESSED MIN. 50% AND INSTALLED INTO THE OPENING TO OBTAIN MIN. 4" 2 Conduit -4" diam.(or smaller) emt or rigid steel THICKNESS. 4 TREMCO # TREMSTOP ACRYLIC – MIN. 1/2" SEALANT APPLIED WITHIN ANNULUS, AND A MINIMUM 1/4" SEALANT APPLIED AT POINT CONTACT: AT THE FLOOR SURFACE FOR FLOORS, OD DOTH SUPEACES FOR WALLS (3) TREMCO # FYRE-SHIELD - MIN. 1/2" THICKNESS OF SEALANT INSTALLED WITHIN OPENING WITH A MIN. OF 1/4" CROWN AROUND GROUND THE PENETRATING ITEM APPLIED FLUSH OR BOTH SURFACES FOR WALLS. WITH BOTH SIDE OF WALL ASSEMBLY. SMOKE RATED WALL PENETRATION DETAILS 3 4

N.T.S.



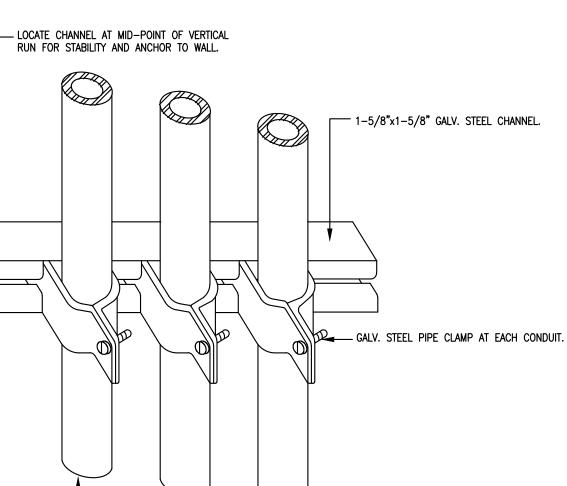
UNDERGROUND COUNDUIT DETAIL N.T.S.

| RISER LEGEND | | | | | | | |
|----------------------------|--|--|--|--|--|--|--|
| EXISTING | | | | | | | |
| - NEW WORK | | | | | | | |
| NEW TO EXISTING CONNECTION | | | | | | | |

| PAN | EL: | В | | | | FED FROM: | А | | | | | CONDITION: | EXIS | STING |
|---|---|--|---|--|---|--|--|---|--------------------------------------|----------------------------|----------------------------|---|---|-------|
| /OLTAGE: PHASES, | | 240/120V 1¢,3W | MAIN TYPE: MAIN O.C. DEVICE: | | | MLO 200 A | | | | | | ENCLOSURE TYF MOUNTING: | E: NEMA 1 SURFACE | |
| BUS RATI | | 200 A | AIC RATING (A): | | | 10000 | | | | | | | 001117102 | |
| NOTES | CKT NO | DESCRIPTION | N WIRE AWG | EQ. GND. | BREAKER | LOAD | PHASE | LOAD | BREAKER | EQ. GND. | WIRE AWG | DESCRIPTION | CKT NO | NOTE |
| | 1 | EXIT LIGHTS | | EXIST | 20/1 | 100 | Α | 500 | 20/1 | EXIST | EXIST | LIGHTS | 2 | |
| | 3 | BATH/STORAGE | | EXIST | 20/1 | 200 | В | 540 | 20/1 | EXIST | EXIST | RECEPTACLES | 4 | |
| | 5 | RECEPTACLES | | EXIST | 20/1 | 720 | A | 500 | 20/2 | EXIST | EXIST | AHU | 6,8 | |
| | 7,9 | ACU | EXIST | EXIST | 20/2 | 850 | B | 500 | 20/2 | EXIST | EXIST | AHU | 6,8 | |
| | 7,9 11,13 | ACU POND PANEL | EXIST L EXIST | EXIST EXIST | 20/2 60/2 | 850 3600 | AB | 700 | 20/1 20/1 | EXIST | EXIST | LANDSCAPE LTS | 10 12 | |
| | 11,13 | POND PANEL POND PANEL | | EXIST | 60/2 | 3600 | A | 600 | 20/1 | EXIST EXIST | EXIST EXIST | LANDSCAPE LTS STREET LTS WEST | 12 | |
| | 15 | BACK WALLWA | | EXIST | 20/1 | 300 | B | 500 | 20/1 | EXIST | EXIST | STREET LTS WEST | 14 | |
| 1 | 17 | WEST GATE | | #12 | 20/1 | 1900 | A | 200 | 20/1 | EXIST | EXIST | CANOPY LTS | 18 | |
| • | 19 | EAST GATE | | EXIST | 20/1 | 1900 | B | 1000 | 20/1 | EXIST | EXIST | EXISTING LOAD | 20 | |
| | 21 | EXISTING LOA | | EXIST | 20/1 | 1000 | A | 0 - | / | - | LAIST | SPACE | 20 | |
| | 23 | SPACE | | - | / | - 0 | B | 0 - | / / | _ | | SPACE | 24 | |
| | 25 | SPACE | | - | / | - 0 | A | 0 - | / / | _ | | SPACE | 26 | |
| | 27 | SPACE | | - | ·/ | - 0 | B | | / | _ | | SPACE | 28 | |
| | 29 | SPACE | | - | / | - 0 | A | 0 - | / | _ | | SPACE | 30 | |
| | | | | | , | TOTAL CONNE | CTED LOAD PE | R PHASE (VA) | , í | | | I | | |
| | | | | | | PHASE A 10670 | | PHASE B 10090 | | | | | | |
| | | | | | | CONNECTED | DEMAND | DEMAND | - | | | | 5.9 KVA | |
| | | | | | | LOAD (KVA) | FACTOR | LOAD (KVA) | | | | | 0.1 KVA | |
| | | Existing Load | | | | 18.9 | 1.25 | 23.6 | | | | | 1.9 AMPS | |
| | | Motors | | | | 0.0 | 1.00 | 0.0 | | | | SPARE CAPACITY | 28 % | |
| | | Motors (Largest) | | | | 1.9 | 1.25 | 2.4 | | | | | | |
| | | | | | | | | | | | | PHASE BALANCE: | | |
| | | | | | | | | | | | | | 95 % | |
| | | | | | | | | | | | | | 95 % | |
| | | TOTAL: LOAD (AMPS): | | | | 20.8 86.5 | | 25.9 108.1 | | | | | 95 % | |
| CONF | ING CIRC | LOAD (AMPS): | ENTIFICATION AND LOCAT | ION BEFORE | PROCEED | 86.5 E VERIFICATION INTO DISCONN | ECT ANY EQU | 108.1 PANEL BOARD | DIRECTOR | RIES WHERE | AVAILABLE F | | | |
| EXIS CONF PROV PECIFIC | TING CIRC TIRM THE (IDE UPD/ NOTES: | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE | ENTIFICATION AND LOCATI RECTORY IN COMPLIANCE | ION BEFORE WITH NEC 4 | PROCEED 408.4. AFT | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI | IECT ANY EQU RICAL WORK I | 108.1 PANEL BOARD IPMENT. S COMPLETE. | DIRECTOR | RIES WHERE | AVAILABLE F | A TO B | | |
| EXIST CONF PROV PECIFIC | Ting Circ Tirm The Yide Upd/ <u>Notes:</u> Yide Pern | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR | ENTIFICATION AND LOCATI RECTORY IN COMPLIANCE | ION BEFORE WITH NEC 4 | PROCEED 408.4. AFT | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI | IECT ANY EQU RICAL WORK I | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. | DIRECTOR | RIES WHERE | AVAILABLE F | A TO B | for Must | STING |
| EXIST CONF PROV PECIFIC PROV | Ting Circ Tirm The Yide Upd/ <u>Notes:</u> Yide Pern | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR MANENTLY-INSTALLED HA | ENTIFICATION AND LOCATI RECTORY IN COMPLIANCE | ION BEFORE WITH NEC 4 | PROCEED 408.4. AFT | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI BREAKER IN T | IECT ANY EQU RICAL WORK I THE OPEN PO | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. | DIRECTOP | RIES WHERE | AVAILABLE F | A TO B | Tor Must EXI: | |
| EXIST CONF PROV PECIFIC PROV PROV PAN | ING CIRC IRM THE IDE UPD/ NOTES: IDE PERM EL: | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR WANENTLY-INSTALLED HA | ENTIFICATION AND LOCATI RECTORY IN COMPLIANCE ANDLE PADLOCK ACCESS | ION BEFORE WITH NEC 4 | PROCEED 408.4. AFT | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI BREAKER IN T FED FROM: | IECT ANY EQU RICAL WORK I THE OPEN PO | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. | DIRECTOR | RIES WHERE | AVAILABLE F | A TO B PRIOR DEMOLITION. THE CONTRAC CONDITION: | Tor Must EXI: | 2 |
| EXIST CONF PROV PECIFIC PROV PROV PAN DLTAGE: HASES, JS RATI | ING CIRC IRM THE IDE UPD/ NOTES: IDE PERM EL: | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR WANENTLY-INSTALLED HA 240/120V 1¢,3W 200 A DESCRIPTION | MAIN TYPE: MAIN O.C. DEVICE: AIC RATING (A): MAIN MIRE AWG | ION BEFORE WITH NEC 4 | PROCEED 408.4. AFT | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI BREAKER IN T FED FROM: MCB 150 A 22000 | IECT ANY EQU RICAL WORK I THE OPEN PO | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. | DIRECTOR | RIES WHERE | AVAILABLE F | A TO B PRIOR DEMOLITION. THE CONTRAC CONDITION: ENCLOSURE TYF | For Must EXIS | 2 |
| EXIST CONF PROV PECIFIC PROV PROV PAN DLTAGE: HASES, JS RATI | ING CIRC IRM THE IDE UPD/ NOTES: IDE PERI EL: WIRES: NG: | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR WANENTLY-INSTALLED HA A 240/120V 1¢,3W 200 A | MAIN TYPE: MAIN O.C. DEVICE: AIC RATING (A): MAIN MIRE AWG | ION BEFORE WITH NEC 4 | PROCEED 408.4. AFT K CIRCUIT | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI BREAKER IN T FED FROM: MCB 150 A 22000 | ECT ANY EQU RICAL WORK I THE OPEN PO ELECTRICA | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. METER | | | | A TO B PRIOR DEMOLITION. THE CONTRAC CONDITION: ENCLOSURE TYF MOUNTING: | for must exis e: nema 3r surface | R |
| EXIST CONF PROV PECIFIC PROV PROV PAN DLTAGE: HASES, JS RATI | ING CIRC IRM THE IDE UPD/ NOTES: IDE PERI EL: WIRES: NG: CKT NO | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR WANENTLY-INSTALLED HA 240/120V 1¢,3W 200 A DESCRIPTION | MAIN TYPE: MAIN O.C. DEVICE: AIC RATING (A): MAIN EXIST | EQ. GND. | PROCEED 408.4. AFT K CIRCUIT | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI BREAKER IN T FED FROM: MCB 150 A 22000 LOAD | ECT ANY EQU RICAL WORK I THE OPEN PO ELECTRICA PHASE | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. METER | BREAKER | EQ. GND. | WIRE AWG | A TO B PRIOR DEMOLITION. THE CONTRACT CONDITION: ENCLOSURE TYF MOUNTING: DESCRIPTION | IOR MUST EXIS E: NEMA 3R SURFACE CKT NO | 2 |
| EXIST CONF PROV PECIFIC PROV PROV PAN DLTAGE: HASES, JS RATI | ING CIRC IRM THE IDE UPD/ NOTES: IDE PERI EL: WIRES: NG: CKT NO 1 | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR WANENTLY-INSTALLED HA 240/120V 1¢,3W 200 A DESCRIPTION EXISTING LOA | MAIN TYPE: MAIN O.C. DEVICE: AIC RATING (A): MAIN EXIST | EQ. GND. EXIST | PROCEED 408.4. AFT K CIRCUIT BREAKER 20/1 | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI BREAKER IN T FED FROM: MCB 150 A 22000 LOAD 1000 1000 | ECT ANY EQU RICAL WORK I THE OPEN PO ELECTRICA PHASE A | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. METER LOAD 1000 | BREAKER 20/1 | EQ. GND. EXIST | WIRE AWG EXIST | A TO B PRIOR DEMOLITION. THE CONTRAC CONDITION: ENCLOSURE TYF MOUNTING: DESCRIPTION EXISTING LOAD | IOR MUST EXI: E: NEMA 3R SURFACE CKT NO 2 | 2 |
| EXIST CONF PROV ECIFIC PROV PROV PROV PROV PROV JS RATI | ING CIRC IRM THE IDE UPD/ NOTES: IDE PERI EL: WIRES: NG: CKT NO 1 3 | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR WANENTLY-INSTALLED HA 240/120V 1¢,3W 200 A DESCRIPTION EXISTING LOA EXISTING LOA | MAIN TYPE: MAIN O.C. DEVICE: AIC RATING (A): MAIN EXIST | EQ. GND. EXIST | PROCEED 408.4. AFT K CIRCUIT BREAKER 20/1 30/1 | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI BREAKER IN T FED FROM: MCB 150 A 22000 LOAD 1000 1000 | ECT ANY EQU RICAL WORK I THE OPEN PO ELECTRICA PHASE A B | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. METER LOAD 1000 1000 | BREAKER 20/1 20/2 | EQ. GND. EXIST EXIST | WIRE AWG EXIST EXIST | A TO B PRIOR DEMOLITION. THE CONTRAC CONDITION: ENCLOSURE TYF MOUNTING: DESCRIPTION EXISTING LOAD EXISTING LOAD | EXIS E: NEMA 3R SURFACE CKT NO 2 4,6 | 2 |
| EXIST CONF PROV PECIFIC PROV PROV PAN DLTAGE: HASES, JS RATI | ING CIRC IRM THE IDE UPD/ NOTES: IDE PERI IDE PERI IDE SE IDE EL: IDE EL: IDE IDE IDE IDE IDE IDE IDE IDE IDE IDE | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR WANENTLY-INSTALLED HA 240/120V 1¢,3W 200 A DESCRIPTION EXISTING LOA SPACE | MAIN TYPE: MAIN TYPE: MAIN O.C. DEVICE: AIC RATING (A): N MURE AWG AD EXIST AD EXIST | EQ. GND. EXIST | PROCEED 408.4. AFT K CIRCUIT BREAKER 20/1 30/1 / | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI BREAKER IN T FED FROM: MCB 150 A 22000 LOAD 1000 - 0 | ECT ANY EQU RICAL WORK I THE OPEN PO ELECTRICA PHASE A B A | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. METER LOAD 1000 1000 | BREAKER 20/1 20/2 20/2 | EQ. GND. EXIST EXIST | WIRE AWG EXIST EXIST | A TO B PRIOR DEMOLITION. THE CONTRAC CONDITION: ENCLOSURE TYF MOUNTING: DESCRIPTION EXISTING LOAD EXISTING LOAD EXISTING LOAD EXISTING LOAD | TOR MUST EXI: E: NEMA 3R SURFACE CKT NO 2 4,6 4,6 | 2 |
| EXIST CONF PROV PROV PROV PROV PROV PROV DLTAGE: HASES, JS RATI | ING CIRC IRM THE IDE UPD/ NOTES: IDE PERI EL: WIRES: NG: CKT NO 1 3 5 7 | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR WANENTLY-INSTALLED HA A 240/120V 1¢,3W 200 A DESCRIPTION EXISTING LOA SPACE SPACE | MAIN TYPE: MAIN O.C. DEVICE: AIC RATING (A): MAIN O.C. DEVICE: AIC RATING (A): MUNIC RATING (A): MUNIC AWG ADEXIST ADEXIST ADEXIST | ION BEFORE WITH NEC ORY TO LOC EQ. GND. EXIST EXIST | PROCEED 408.4. AFT K CIRCUIT BREAKER 20/1 30/1 / 200/2 | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI BREAKER IN T FED FROM: MCB 150 A 22000 LOAD 1000 - 0 - 0 - 0 | ECT ANY EQU RICAL WORK I THE OPEN PO ELECTRICA PHASE A B A B B B B | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. METER LOAD 1000 1000 0 – | BREAKER 20/1 20/2 20/2 / | EQ. GND. EXIST EXIST | WIRE AWG EXIST EXIST | A TO B PRIOR DEMOLITION. THE CONTRACT CONDITION: ENCLOSURE TYPE MOUNTING: DESCRIPTION EXISTING LOAD EXISTING LOAD EXISTING LOAD EXISTING LOAD SPACE | FOR MUST EXIS E: NEMA 3R SURFACE CKT NO 2 4,6 4,6 8 | 2 |
| EXIS [®] Conf Pro P <u>ecific</u> Pro | ING CIRC IRM THE IDE UPD/ NOTES: IDE PERI EL: KIRES: NG: CKT NO 1 3 5 7 FTL | LOAD (AMPS): CUIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR WANENTLY-INSTALLED HA A 240/120V 1¢,3W 200 A DESCRIPTION EXISTING LOA SPACE SPACE PANEL B | MAIN TYPE: MAIN O.C. DEVICE: AIC RATING (A): MAIN O.C. DEVICE: AIC RATING (A): MUNIC RATING (A): MUNIC AWG ADEXIST ADEXIST ADEXIST | ION BEFORE WITH NEC 4 ORY TO LOC EQ. GND. EXIST EXIST EXIST SEE RISER | PROCEED 408.4. AFT K CIRCUIT BREAKER 20/1 30/1 / 200/2 | 86.5 E VERIFICATION INTO DISCONN ER ALL ELECTI BREAKER IN T FED FROM: MCB 150 A 22000 LOAD 1000 1000 - 0 - 0 10670 | ECT ANY EQU RICAL WORK I THE OPEN PO ELECTRICA PHASE A B A B A B A B A B B A B B A B B A B B A B B A B B A B | 108.1 PANEL BOARD IPMENT. S COMPLETE. SITION. METER LOAD 1000 1000 0 - | BREAKER 20/1 20/2 20/2 / | EQ. GND. EXIST EXIST | WIRE AWG EXIST EXIST | A TO B PRIOR DEMOLITION. THE CONTRACT CONDITION: ENCLOSURE TYPE MOUNTING: DESCRIPTION EXISTING LOAD EXISTING LOAD EXISTING LOAD EXISTING LOAD SPACE | FOR MUST EXIS E: NEMA 3R SURFACE CKT NO 2 4,6 4,6 8 | 2 |

| PAN | EL: | А | | | | | FED FROM: | ELECTRICA | METER |
|----------|---------|---|--------------|------------|-----------|---------|-------------------------|------------------|----------------------|
| VOLTAGE: | | 240/120V | MAIN TYPE: | : | | | МСВ | | |
| PHASES, | WIRES: | 1φ,3W | MAIN O.C. | DEVICE: | | | 150 A | | |
| BUS RATI | | 200 A | AIC RATING | | | | 22000 | | |
| NOTES | СКТ NO | DESCRIPTION | 1 | WIRE AWG | EQ. GND. | BREAKER | LOAD | PHASE | LOAD |
| | 1 | EXISTING LOA | D | EXIST | EXIST | 20/1 | 1000 | A | 1000 |
| | 3 | EXISTING LOA | D | EXIST | EXIST | 30/1 | 1000 | В | 1000 |
| | 5 | SPACE | | | - | / | - 0 | A | 1000 |
| | 7 | SPACE | | | - | / | - 0 | В | 0 - |
| | FTL | PANEL B | | SEE RISER | SEE RISER | 200/2 | 10670 | A | |
| | FTL | PANEL B | | SEE RISER | SEE RISER | 200/2 | 10090 | В | |
| | | | | | | | TOTAL CONNE | CTED LOAD PE | ER PHASE (VA) |
| | | | | | | | PHASE A | | PHASE B |
| | | | | | | | 13670 | | 12090 |
| | | | | | | | | | |
| | | | | | | | CONNECTED LOAD (KVA) | DEMAND FACTOR | DEMAND LOAD (KVA) |
| | | Existing Load | | | | | 23.9 | 1.25 | 29.8 |
| | | Motors | | | | | 0.0 | 1.00 | 0.0 |
| | | Motors (Largest) | | | | | 1.9 | 1.25 | 2.4 |
| | | | | | | | | | |
| GENERAL | | TOTAL: LOAD (AMPS): | | | | | 25.8 107.3 | | 32.2 134.2 |
| CONF | IRM THE | UIT DESCRIPTION ON PA INVOLVED CIRCUITS' IDE ATED TYPED CIRCUIT DIR | INTIFICATION | AND LOCATI | ON BEFORE | PROCEED | INTO DISCONN | NECT ANY EQU | JIPMENT. |

SPECIFIC NOTES:

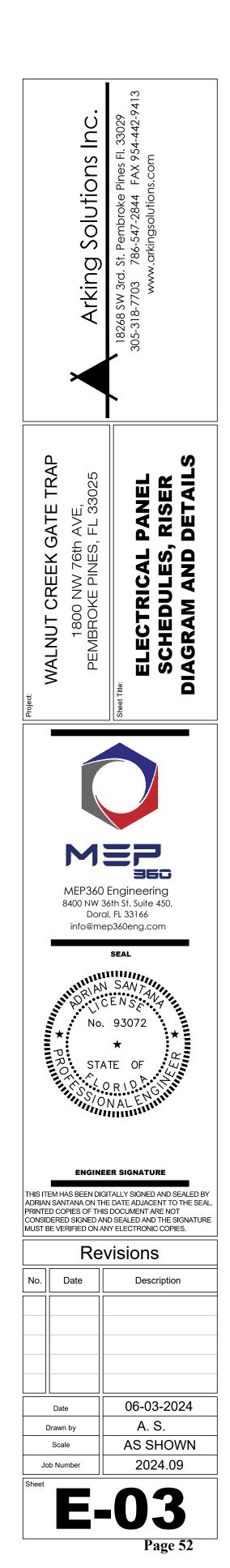


17 Free

A. ALL CONDUIT BENDS WITHIN THE DUCT BANK MUST HAVE A 36" MINIMUM BENDING RADIUS.
B. AT NO TIME SHALL WIRE OF ANY KIND BE WRAPPED AROUND THE DUCTS TO ANCHOR THE DUCT BANK.
C. PROVIDE DUCT SPACERS EVERY 5 TO 7 FEET AND DUCT ANCHORS EVERY 20 FEET. D. PROVIDE WARNING TAPE ABOVE DUCT BANK PRIOR TO BACKFILLING.
E. UTILITY COMPANY REQUIREMENTS SHALL SUPERSEDE INFORMATION CONTAINED WITHIN THIS DETAIL.

| 12090 | | | |
|-----------|----------------|-----------|--|
| | | | |
| DEMAND | DEMAND LOAD | 32.2 KVA | |
| OAD (KVA) | SPARE CAPACITY | 3.8 KVA | |
| 29.8 | SPARE CAPACITY | 15.8 AMPS | |
| 0.0 | SPARE CAPACITY | 11 % | |
| 2.4 | | | |
| | PHASE BALANCE: | | |
| | A TO B | 88 % | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

ING PANEL BOARD DIRECTORIES WHERE AVAILABLE PRIOR DEMOLITION. THE CONTRACTOR MUST EQUIPMENT.



SECTION 260000 - ELECTRICAL GENERAL CONDITIONS

PART 1 GENERAL 1.01 SUMMARY

- A. THIS SECTION SUPPLEMENTS ALL SECTIONS OF THE SPECIFICATIONS FOR DIVISION 26, DIVISION 27, AND DIVISION 28 AND SHALL APPLY TO ALL PHASES OF WORK HEREINAFTER SPECIFIED, SHOWN ON THE DRAWINGS, OR REQUIRED TO PROVIDE A COMPLETE INSTALLATION OF APPROVED ELECTRICAL SYSTEMS.
- B. THE DRAWINGS, GENERAL CONDITIONS AND GENERAL PROVISIONS OF THE CONTRACT APPLY TO THIS SECTION AND THE OTHER SECTIONS OF DIVISION 26, DIVISION 27, AND DIVISION 28 OF THE SPECIFICATIONS. WHERE CONFLICTS ARISE BETWEEN THESE DOCUMENTS, THE MORE STRINGENT PROVISION WILL BE APPLICABLE, SUBJECT TO THE INTERPRETATION OF THE ENGINEER.
- C. FURNISH ALL LABOR, MATERIAL, SERVICES, AND SKILLED SUPERVISION NECESSARY FOR THE CONSTRUCTION, ERECTION, INSTALLATION, CONNECTIONS, TESTING, AND ADJUSTMENT OF ALL MATERIALS AND ELECTRICAL EQUIPMENT SPECIFIED HEREIN, OR SHOWN OR NOTED ON THE DRAWINGS, AND ITS DELIVERY TO THE OWNER, COMPLETE IN ALL RESPECTS AND READY FOR USE.
- D. WHERE PLANS INDICATE FIXTURES OR EQUIPMENT WILL BE FURNISHED BY THIS CONTRACTOR FOR INSTALLATION BY OTHER CONTRACTORS, THIS CONTRACTOR SHALL FURNISH ALL SUCH EQUIPMENT, COMPLETE IN ALL RESPECTS AND READY FOR INSTALLATION. DRAWINGS, INSTRUCTIONS, AND MANUALS SUPPLIED WITH EQUIPMENT SHALL BE CAREFULLY PRESERVED AND TURNED OVER TO THE
- INSTALLING CONTRACTOR. . WHERE PLANS INDICATE FIXTURES OR EQUIPMENT WILL BE FURNISHED BY OTHERS, THIS CONTRACTOR SHALL PROVIDE ALL ROUGH-IN AND SUPPLIES AND SHALL CONNECT SUCH EQUIPMENT TO THE ELECTRICAL SYSTEM. DRAWINGS, INSTRUCTIONS, AND MANUALS SUPPLIED WITH EQUIPMENT SHALL BE CAREFULLY PRESERVED AND TURNED OVER TO THE ARCHITECT.
- 1.02 DEFINITIONS A. AUTHORITY HAVING JURISDICTION: ALL REGULATORY AGENCIES, INCLUDING BUT NOT LIMITED TO, PLANS EXAMINERS, FIRE MARSHALS, INSPECTORS, INSURANCE CARRIERS, AND UTILITY COMPANIES. B. CONCEALED: HIDDEN FROM SIGHT IN CHASES, FURRED SPACES, SHAFTS, HUNG CEILINGS, EMBEDDED
- IN CONSTRUCTION, IN CRAWL SPACES, OR UNDERGROUND. C. CONDUIT: CONDUIT OR TUBING AND ALL REQUIRED FITTINGS, PULL BOXES, HANGERS, AND OTHER
- SUPPORTS AND ACCESSORIES RELATED TO SUCH. D. CODE: ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE ADMINISTRATIVE CODE, BUILDING CODE. ELECTRICAL CODE. ENERGY CONSERVATION CODE, EXISTING BUILDING CODE, FIRE CODE, FUEL GAS CODE, MECHANICAL CODE. PLUMBING CODE. AND RESIDENTIAL CODE.
- E. CODE, ADMINISTRATIVE: THE ADMINISTRATIVE CODE, INCLUDING ALL LOCAL AMENDMENTS AND REFERENCE STANDARDS, ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- F. CODE, BUILDING: THE BUILDING CODE, INCLUDING ALL LOCAL AMENDMENTS AND REFERENCE STANDARDS. ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION
- G. CODE, ELECTRICAL: THE ELECTRICAL CODE, INCLUDING ALL LOCAL AMENDMENTS AND REFERENCE STANDARDS, ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- H. CODE, ENERGY CONSERVATION CODE: THE ENERGY CONSERVATION CODE, INCLUDING ALL LOCAL AMENDMENTS AND REFERENCE STANDARDS, ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION
- CODE, EXISTING BUILDING: THE EXISTING BUILDING CODE, INCLUDING ALL LOCAL AMENDMENTS AND REFERENCE STANDARDS, ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION. J. CODE, FIRE: THE FIRE CODE, INCLUDING ALL LOCAL AMENDMENTS AND REFERENCE STANDARDS,
- ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- K. CODE, FUEL GAS: THE FUEL GAS CODE, INCLUDING ALL LOCAL AMENDMENTS AND REFERENCE STANDARDS, ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- L. CODE. MECHANICAL: THE MECHANICAL CODE, INCLUDING ALL LOCAL AMENDMENTS AND REFERENCE STANDARDS, ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- M. CODE, PLUMBING: THE PLUMBING CODE, INCLUDING ALL LOCAL AMENDMENTS AND REFERENCE STANDARDS, ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- N. CODE, RESIDENTIAL: THE RESIDENTIAL CODE, INCLUDING ALL LOCAL AMENDMENTS AND REFERENCE ANDARDS, ADOPTED AND ENFORCED BY THE AUTHORITY HAVING JURISDICTION. O. CONNECT: TO BRING SERVICE TO THE EQUIPMENT AND MAKE FINAL ATTACHMENT INCLUDING
- NECESSARY SWITCHES, OUTLETS, BOXES, TERMINATIONS, ETC. P. CONTRACT DOCUMENTS: ALL DRAWINGS, SPECIFICATIONS, SPECIFIED REFERENCE STANDARDS, APPLICABLE CODES, MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND EXECUTED LEGAL DOCUMENTS
- RELATED TO THE PROJECT. Q. CONTRACTOR: THE CONTRACTOR(S) OR SUBCONTRACTOR(S) RESPONSIBLE FOR PERFORMING THE
- WORK ASSOCIATED WITH DIVISIONS 26, 27, AND 28, AND ULTIMATELY THE GENERAL CONTRACTOR R. DRAWINGS: ALL PLANS, DETAILS, SCHEDULES, DIAGRAMS, SKETCHES, ETC. ISSUED FOR THE CONSTRUCTION OF THE WORK. EXPOSED: NOT CONCEALED.
- FURNISH: TO SUPPLY AND DELIVER, UNLOAD, AND INSPECT FOR DAMAGE.
- U. INSTALL: TO UNPACK, ASSEMBLE, ERECT, APPLY, PLACE, FINISH, CURE, PROTECT, CLEAN, CONNECT, AND PLACE INTO OPERATION INTO THE WORK. V. OWNER: THE ENTITY, INCLUDING AUTHORIZED REPRESENTATIVES, TO WHICH THE WORK IS BEING PROVIDED TO.
- W. PROVIDE: TO FURNISH AND INSTALL. X. WORK: THE CONSTRUCTION AND SERVICES, INCLUDING ALL LABOR, MATERIALS, AND EQUIPMENT, REQUIRED BY THE CONTRACT DOCUMENTS TO FULFILL THE CONTRACTOR'S OBLIGATIONS. THE WORK MAY CONSTITUTE THE WHOLE OR A PART OF THE PROJECT.
- 1.03 CODES AND STANDARDS A. PERFORM WORK IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE, ELECTRICAL CODE, FIRE CODE, MECHANICAL CODE, PLUMBING CODE, ENERGY CODE, AND ALL OTHER APPLICABLE CODES, AMENDMENTS, AND ORDINANCES. ALSO PERFORM ALL WORK IN ACCORDANCE WITH: 1. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS. AMERICANS WITH DISABILITIES ACT (ADA). THE AUTHORITY HAVING JURISDICTION.
 - LANDLORD REQUIREMENTS INCLUDING TENANT CRITERIA MANUALS AND LEASE EXHIBITS.
- . UTILITY COMPANY REQUIREMENTS. B. RECOGNIZED STANDARDS: DESIGN, MANUFACTURE, TESTING AND METHOD OF INSTALLATION OF ALL APPARATUS AND MATERIALS FURNISHED UNDER THE REQUIREMENTS OF THESE SPECIFICATIONS SHALL CONFORM TO THE LATEST PUBLICATIONS OR STANDARD RULES OF INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS (IEEE), NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA), UNDERWRITERS LABORATORIES, INC. (U.L.), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM). AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI). NATIONAL ELECTRICAL CODE (NEC), NATIONAL ELECTRICAL SAFETY CODE (NESC), NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA). AND AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AIS C. CODE. LANDLORD. AND UTILITY COMPANY REQUIREMENTS SUPERSEDE ANY REQUIREMENTS OF THI

DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACT DOCUMENTS TAKE PRECEDENCE WHERE THE CONTRACT DOCUMENTS EXCEED CODE, LANDLORD, UTILITY, OR RECOGNIZED STANDARDS REQUIREMENTS. 1.04 PERMITS AND FEES: PERMITS, LICENSES, FEES, INSPECTIONS AND ARRANGEMENTS REQUIRED FOR THE WORK UNDER THIS CONTRACT SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE. 1.05 TEMPORARY SERVICES FOR CONSTRUCTION

- A. PROVIDE A TEMPORARY ELECTRICAL SERVICE, INCLUDING ALL REQUIRED EQUIPMENT SUCH AS TRANSFORMERS, GENERATORS AND FUEL, PANELBOARDS, ETC. AS REQUIRED BY ALL TRADES COORDINATE POWER REQUIREMENTS FOR THE TEMPORARY SERVICE WITH THE GENERAL CONTRACTOR AND THE UTILITY COMPANY PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO DEVELOP ALL TEMPORARY SERVICE PLANS AND SPECIFICATIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION, SUBMIT THOSE PLANS AND SPECIFICATIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION, AND TO PAY FOR ALL TEMPORARY SERVICE ENERGY CONSUMPTION. B. PROVIDE ALL TEMPORARY LIGHTING NECESSARY TO PROVIDE LIGHTING LEVELS IN COMPLIANCE WITH OSHA REGULATIONS AND AS REQUIRED BY ALL TRADES.
- 1.06 CONTRACT DRAWINGS A. OBTAIN, FULLY UNDERSTAND, AND COORDINATE THE WORK WITH THE COMPLETE SET OF CONTRACT DOCUMENTS. ANY REQUIRED CORRECTIONS, INCLUDING ALL ASSOCIATED COSTS, ARISING FROM LACK OF COORDINATION WITH THE COMPLETE SET OF CONTRACT DOCUMENTS IS THE CONTRACTOR'S SOLE
- RESPONSIBILITY. B. WORK UNDER THESE SECTIONS IS DIAGRAMMATIC AND IS INTENDED TO CONVEY THE SCOPE OF WORK AND INDICATE THE GENERAL ARRANGEMENT OF EQUIPMENT, CONDUIT, AND OUTLETS. OBTAIN INSTRUCTIONS FROM THE ARCHITECT/ENGINEER PRIOR TO ROUGH-IN WHEREVER A QUESTION EXISTS
- AS TO THE EXACT INTENDED LOCATION OF OUTLETS OR EQUIPMENT. C. PROMPTLY REPORT AND DISCREPANCIES DISCOVERED WITHIN THE CONTRACT DOCUMENTS. FAILURE OF THE CONTRACTOR TO REPORT DISCREPANCIES SHALL RESULT IN THE RESOLUTION BECOMING THE CONTRACTOR'S RESPONSIBILITY AND SUBJECT TO THE ARCHITECT/ENGINEER'S REVIEW AND POSSIBLE REJECTION. SHOULD THE ARCHITECT/ENGINEER REJECT A DISCREPANCY RESOLUTION OF WHICH THEY WERE NOT NOTIFIED. THE CONTRACTOR IS FULLY RESPONSIBLE TO CORRECT THE INSTALLATION. INCLUDING ALL ASSOCIATED COSTS, UNTIL APPROVAL OF THE INSTALLATION IS GIVEN BY THE
- ARCHITECT/ENGINEER 1.07 SUBMITTALS FOR ENGINEER REVIEW: A. FURNISH THE FOLLOWING SUBMITTALS TO THE ARCHITECT FOR REVIEW BY THE ENGINEER: PRODUCT DATA FOR FLOOR BOXES AND ALL ASSOCIATED COVER PLATES AND FLANGES. PRODUCT DATA AND SHOP DRAWINGS FOR REMOTE CONTROL SWITCHING DEVICES. PRODUCT DATA FOR CONTACTORS AND RELAYS. PRODUCT DATA AND SHOP DRAWINGS FOR LIGHTING CONTROL DEVICES PRODUCT DATA AND SHOP DRAWINGS FOR CENTRAL DIMMING SYSTEMS. SHOP DRAWINGS FOR LOW VOLTAGE TRANSFORMERS. SHOP DRAWINGS FOR SWITCHBOARDS. SHOP DRAWINGS FOR PANELBOARDS SHOP DRAWINGS FOR MOTOR CONTROL CENTERS. 10. PRODUCT DATA AND SHOP DRAWINGS FOR ELECTRICAL SERVICE ENTRANCE EQUIPMENT. 11. PRODUCT DATA FOR MULTI-OUTLET ASSEMBLIES. PRODUCT DATA FOR ENCLOSED SWITCHES. 3. PRODUCT DATA FOR ENCLOSED CONTROLLERS 14. PRODUCT DATA AND SHOP DRAWINGS FOR VARIABLE FREQUENCY DRIVES. 15. PRODUCT DATA AND SHOP DRAWINGS FOR LIGHTING INVERTERS. 16. PRODUCT DATA AND SHOP DRAWINGS FOR SURGE PROTECTIVE DEVICES. PRODUCT DATA FOR INTERIOR LIGHTING. 18. PRODUCT DATA FOR EXTERIOR LIGHTING. 19. PRODUCT DATA AND SHOP DRAWINGS FOR TELEPHONE AND DATA SYSTEMS. 20. PRODUCT DATA AND SHOP DRAWINGS FOR TELEVISION SYSTEMS. B. USE MANUFACTURER'S SPECIFICATION SHEETS IDENTIFIED BY NUMBER INDICATED ON DRAWINGS OR SCHEDULES. INDICATE CATALOG NUMBER ON THE CUT SHEETS.
- SUBMITTALS OTHER THAN THOSE LISTED ABOVE WILL NOT BE REVIEWED AND WILL BE RETURNED STATING SUCH. SUBMITTALS ARE REVIEWED ONLY FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS
- DIMENSIONS, QUANTITIES AND DETAILS ARE NOT CHECKED DURING SUBMITTAL REVIEW. REVIEW OF THE SUBMITTALS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR PROVIDING ALL MATERIALS, EQUIPMENT AND ACCESSORIES NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM MEETING THE REQUIREMENTS OF THE PROJECT AND THE INTENT OF THE CONTRACT DOCUMENTS. THE RESPONSIBILITY FOR COORDINATION OF SUBSTITUTED MATERIALS AND EQUIPMENT LIES SOLELY WITH THE SUBSTITUTING CONTRACTOR. 1.08 QUALITY ASSURANCE
- A. ALL COMPONENTS SHALL BE LISTED AND CLASSIFIED BY UNDERWRITERS LABORATORIES, INC. AS SUITABLE FOR THE PURPOSE AND FREE OF ALL RUST/CORROSION OR ANY VISIBLE DAMAGE. ALL ITEMS NOT COMPLYING WITH THIS REQUIREMENT SHALL BE REPLACED WITHOUT ANY CHANGE IN THE CONTRACT AMOUNT.
- B. UNLESS OTHERWISE SPECIFIED, ALL EQUIPMENT, DEVICES, LUMINAIRES, AND MATERIALS OF THE SAME TYPE OR CLASSIFICATION AND USED FOR THE SAME PURPOSE SHALL BE PRODUCTS OF THE SAME MANUFACTURER. USE ONLY NEW, UN-WEATHERED, AND UNUSED MATERIAL, EXCEPT AS SPECIFICALLY
- C. EQUIPMENT PERFORMANCE AND ACCESSORIES SHALL BE AS INDICATED ON THE DRAWINGS AND/OR SPECIFIED HEREIN. INCLUSION IN BOTH LOCATIONS IS NOT A PREREQUISITE TO INCLUSION IN THE CONTRACT; EQUIPMENT AND ACCESSORIES SPECIFIED IN EITHER LOCATION SHALL BE INCLUDED IN THE CONTRACT. PROVIDE ALL NECESSARY ACCESSORIES AND CONNECTIONS AS REQUIRED FOR A COMPLETE. FUNCTIONAL SYSTEM, INCLUDING ALL REQUIRED COMPONENTS REASONABLY INFERRED TO AS NECESSARY ALTHOUGH SUCH COMPONENTS MAY OR MAY NOT BE SPECIFICALLY INDICATED IN THE

CONTRACT DOCUMENTS.

MANUFACTURER'S INSTRUCTIONS TO AVOID DAMAGE TO INTERNAL COMPONENTS, ENCLOSURES, AND FINISHES. 1.10 WARRANTY AND GUARANTEE: PROVIDE A COMPLETE PARTS AND LABOR WARRANTY AND GUARANTEE ON ALL SYSTEMS FOR A PERIOD OF ONE YEAR FROM OWNER ACCEPTANCE OF THE COMPLETED FACILITY. THIS WARRANTY AND GUARANTEE SHALL COVER ALL FAILURES UNLESS SUCH FAILURE IS DIRECTLY ATTRIBUTABLE TO VANDALISM OR CAUSES OTHER THAN DEFECTS IN MATERIAL OR WORKMANSHIP

PART 2 PRODUCTS 2.01 CONDUCTOR TERMINATIONS: PROVIDE CONDUCTOR TERMINATIONS RATED AT A MINIMUM OF 75 DEGREES C IN ALL EQUIPMENT.

2.02 SUBSTITUTIONS: THE PRODUCTS SPECIFIED IN THE CONTRACT DOCUMENTS CONSTITUTE THE BASIS OF DESIGN FOR THE CONSTRUCTION DOCUMENTS AND SET MINIMUM STANDARDS FOR QUALITY, DESIGN, AND FUNCTIONALITY. OTHER PRODUCTS ARE PERMITTED TO BE SUBMITTED, AT THE CONTRACTOR'S OPTION, DURING SHOP DRAWING REVIEW UNLESS INDICATED OTHERWISE. ANY SUBSTITUTE PRODUCTS SHALL MEET OR EXCEED ALL REQUIREMENTS SPECIFIED. ANY COSTS AND COORDINATION ISSUES ARISING OUT OF ANY SUBSTITUTION, INCLUDING COORDINATION WITH ALL OTHER CONTRACTORS AND SUBCONTRACTORS AND ANY ASSOCIATED COSTS, IS THE SUBSTITUTING CONTRACTOR'S SOLE RESPONSIBILITY.

PART 3 EXECUTION 3.01 COORDINATION OF WORK

- A. WORK LINES AND ESTABLISHED HEIGHTS SHALL BE IN STRICT ACCORDANCE WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. VERIFY ALL DIMENSIONS SHOWN AND ESTABLISH ALL ELEVATIONS AND DETAILED DIMENSIONS NOT SHOWN PRIOR TO ROUGH-IN 3. PROMPTLY REPORT ANY DIFFICULTIES ENCOUNTERED IN THE INSTALLATION OF THE WORK WHICH MIGHT
- PREVENT PROMPT AND PROPER INSTALLATION. FAILURE TO REPORT SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK OF OTHER TRADES AS BEING FIT AND PROPER FOR THE EXECUTION OF THIS WORK
- C. COORDINATE THE WORK WITH ALL TRADES SO THAT IT PROCEEDS WITHOUT DELAY AND MINIMIZES INTERFERENCE TO WORK THAT IS IN PROGRESS OR HAS NOT BEEN COMPLETED. CONFLICTS ARISING FROM LACK OF COORDINATION SHALL BE THIS CONTRACTOR'S RESPONSIBILITY. THE ELECTRICAL CONTRACTOR SHALL PAY FOR ALL EXTRA CUTTING AND PATCHING NECESSARY BY ANY LACK OF COORDINATION.
- D. ARRANGE ALL CONDUIT RUNS IN SUCH A MANNER THAT IT DOES NOT INTERFERE WITH GRILLES, DIFFUSERS, OUTLET BOXES, LUMINAIRES, OR OTHER ITEMS WHILE PROVIDING FOR MAXIMUM HEADROOM. MAINTAIN ACCESS TO EQUIPMENT REQUIRING SERVICE WHEN SELECTING MOUNTING ELEVATIONS.
- E. AFFORD OTHER TRADES REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND CONNECT THE WORK OF OTHER TRADES AS TO NOT DELAY OR INTERFERE WITH THEIR WORK. F. EXPLICITLY FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PROMPTLY REPORT ANY
- CONFLICTS BETWEEN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE CONTRACT DOCUMENTS. G. PROVIDE ALL SUPPLEMENTARY OR MISCELLANEOUS ITEMS, APPURTENANCES, AND DEVICES INCIDENTAL TO OR NECESSARY FOR A SOUND, SECURE AND COMPLETE INSTALLATION.
- H. VERIFY AND COORDINATE ALL REQUIREMENTS AND INSTALLATION DETAILS OF ALL MATERIALS AND EQUIPMENT PRIOR TO ROUGH-IN. OBTAIN AND REVIEW SHOP DRAWINGS, PRODUCT DATA, MANUFACTURER'S WIRING DIAGRAMS, AND MANUFACTURER'S INSTRUCTIONS FOR EQUIPMENT FURNISHED UNDER OTHER SECTIONS. DETERMINE CONNECTION LOCATIONS AND REQUIREMENTS. SEQUENCE ROUGH-IN OF ELECTRICAL CONNECTIONS TO COORDINATE WITH INSTALLATION OF EQUIPMENT SEQUENCE ELECTRICAL CONNECTIONS TO COORDINATE WITH START-UP OF EQUIPMENT. AND VERIFY THAT PROPER POWER SUPPLY IS AVAILABLE PRIOR TO SUBCONTRACTOR'S ORDERING EQUIPMENT. VERIFY PROPER VOLTAGE, PHASE, AND CURRENT RATING OF POWER SUPPLY AND REPORT ANY DISCREPANCIES PRIOR TO ORDER, CONNECTION OF EQUIPMENT, OR START-UP. RESPONSIBILITY FOR VERIFICATION OF PROPER POWER SUPPLY VOLTAGE AND ANY DAMAGE RESULTING FROM INCORRECT CONNECTIONS SHALL REST WITH THIS CONTRACTOR AND ANY CONFLICTS ARISING FROM LACK OF

COORDINATION SHALL BE THIS CONTRACTOR'S RESPONSIBILITY 3.02 ACCESS TO EQUIPMENT: INSTALL ALL EQUIPMENT, STARTERS, SWITCHES, RECEPTACLES, AND BOXES SO THAT ALL PARTS ARE EASILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE, AND REPAIR. PROVIDE ACCESS DOORS, FIRE RATED WHERE REQUIRED, FOR CONCEALED EQUIPMENT. 3.03 CUTTING, PATCHING, AND PIERCING

- A. CUT ALL OPENINGS IN A NEAT WORKMANLIKE MANNER, ONLY AS LARGE AS REQUIRED FOR THE
- INSTALLATION, AND LEAVE SURFACES AROUND OPENINGS SMOOTH AND FINISHED TO MATCH SURROUNDING SURFACE.
- B. PATCH EXISTING FINISHED SURFACES AND BUILDING COMPONENTS USING NEW MATERIALS MATCHING EXISTING MATERIALS. C. FIRE AND/OR SMOKE RATED ASSEMBLIES: BECOME FAMILIAR WITH ALL FIRE AND/OR SMOKE RATED
- CONSTRUCTION AND INSTALL WORK TO MAINTAIN THE INTEGRITY OF THOSE RATINGS. D. ROOF PENETRATIONS: COORDINATE WITH THE ROOFING CONTRACTOR TO PROVIDE ANY REQUIRED ROOF PENETRATIONS.
- 3.04 FIELD QUALITY CONTROL A. INSTALL ALL EQUIPMENT, DEVICES, LUMINAIRES, AND MATERIALS PLUMB, LEVEL, SECURELY, AND IN A
- NEAT AND WORKMANLIKE MANNER IN ACCORDANCE WITH NFPA 70 AND ALL APPLICABLE NECA AND NEMA STANDARDS. B. ADJUST ALL FLUSH MOUNTED EQUIPMENT, BOXES, CABINETS, AND ENCLOSURES SUCH THAT THEY ARE
- FLUSH WITH FINISHED WALL OR FLOORING MATERIAL. C. REPLACE OR REFINISH DAMAGED EQUIPMENT, DEVICES, LUMINAIRES, MATERIALS, AND SURFACES WHERE
- MARRING OR DISFIGUREMENT HAS OCCURRED. D. CLEAN ELECTRICAL PARTS TO REMOVE HARMFUL MATERIALS. CLEAN EXPOSED SURFACES OF ALL EQUIPMENT, DEVICES, LUMINAIRES, AND MATERIALS AND THE INTERIOR OF ALL BOXES, ENCLOSURES,
- AND CABINETS OF ALL FOREIGN MATERIALS. E. PAINT ALL ELECTRICAL EQUIPMENT AND MATERIALS LOCATED ON EXTERIOR WALLS, ON THE ROOF WHERE EXPOSED TO VIEW, WHERE VISIBLE FROM 6'-O" ABOVE GRADE FROM ANY PROPERTY LINE, AND ALL EXPOSED CONDUIT TO MATCH THE SURROUNDING SURFACES. COORDINATE PAINT COLOR WITH
- THE ARCHITECT 3.05 TESTING AND INSPECTION A. TESTING: TEST THE ENTIRE SYSTEM UNDER OPERATING CONDITIONS OVER A SUFFICIENT PERIOD OF TIME TO ESTABLISH THE ADEQUACY, QUALITY, SAFETY, COMPLETED STATUS, AND SUITABLE OPERATION
- OF ALL EQUIPMENT, DEVICES, SYSTEMS, ETC B. INSPECTION: OBTAIN ALL REQUIRED CERTIFICATES OF INSPECTION AND APPROVAL
- 3.06 PROJECT CLOSEOUT A. PROJECT RECORD DOCUMENTS: PROVIDE ONE PRINTED COPY AND ONE ELECTRONIC COPY OF PROJECT RECORD DRAWINGS TO THE OWNER. PROJECT RECORD DRAWINGS SHALL REFLECT THE ACTUAL "AS-BUILT" CONDITIONS AND SHALL INCLUDE LOCATIONS OF ALL EQUIPMENT, DEVICES, AND LUMINAIRES, CIRCUITING ARRANGEMENTS, ROUTING OF ALL UNDERFLOOR CONDUITS, ROUTING OF
- CONDUITS LARGER THAN 2 INCHES. LOCATIONS AND MOUNTING HEIGHTS OF ALL OUTLET. PULL. AN JUNCTION BOXES, LOCATIONS OF ALL ITEMS REQUIRING MAINTENANCE AND INSPECTION, AND LOCATIONS OF COMPONENTS AND CIRCUITING AND SWITCHING ARRANGEMENTS OF LIGHTING CONTROLS. OPERATION AND MAINTENANCE DATA: PROVIDE ONE PRINTED COPY AND ONE ELECTRONIC COPY OF
- OPERATION AND MAINTENANCE DATA FOR ALL EQUIPMENT, DEVICES AND LUMINAIRES TO THE OWNER. OPERATION AND MAINTENANCE DATA SHALL INCLUDE MANUFACTURER'S CUT SHEETS. MAINTENANCE PROCEDURES, RECOMMENDED MAINTENANCE INTERVALS, WIRING DIAGRAMS, PARTS LISTS, MANUFACTURERS' WARRANTIES, CERTIFICATES, AND TEST REPORTS OF EACH ITEM INSTALLED.
- C. MAINTENANCE MATERIALS: PROVIDE TO THE OWNER TWO KEYS FOR EACH DIFFERENT ENCLOSURE AND CABINET, INCLUDING PANELBOARDS, TWO SPARE FUSES OF EACH TYPE AND SIZE, AND ONE FUSE D. TEST REPORTS: PROVIDE ONE PRINTED COPY AND ONE ELECTRONIC COPY OF ALL COMPLETED TEST
- REPORTS TO THE OWNER. END OF SECTION
 - SECTION 260501 ELECTRICAL DEMOLITION

PART 1 GENERAL - NOT USED PART 2 PRODUCTS

2.01 MATERIALS AND EQUIPMENT: MATERIALS AND EQUIPMENT FOR PATCHING AND EXTENDING WORK AS SPECIFIED IN INDIVIDUAL SECTIONS.

PART 3 EXECUTION 3.01 EXAMINATION

- A. VISIT THE PROJECT SITE, REVIEW EXISTING CONDITIONS AGAINST THE CONTRACT DOCUMENTS. AND FAMILIARIZE HIMSELE WITH THE WORK PRIOR TO BIDDING AND START OF THE WORK VERIEY EXISTING CONDITIONS, FIELD MEASUREMENTS, AND CIRCUITING ARRANGEMENTS ARE AS INDICATED AND THAT ABANDONED WIRING AND EQUIPMENT SERVE ONLY ABANDONED FACILITIES. BY SIGNING THE CONTRACT, THE CONTRACTOR ACKNOWLEDGES THE SITE VISIT HAS BEEN COMPLETED AND THE EXISTING
- CONDITIONS ARE ACCEPTED B. PROMPTLY REPORT ANY FIELD DISCREPANCIES. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR
- ADJUSTING FOR DISCREPANCIES OF WHICH THE DESIGN TEAM IS NOT INFORMED. C. ANY DEMOLITION WORK INDICATED ON THE DRAWINGS IS INTENDED TO CONVEY THE SCOPE OF THE
- DEMOLITION WORK INVOLVED. IF DEMOLITION PLANS ARE NOT INCLUDED WITH THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO DEMOLISH EXISTING AS REQUIRED TO ALLOW FOR INSTALLATION AND CONSTRUCTION OF THE WORK. D. COMMENCEMENT OF WORK MEANS CONTRACTOR ACCEPTS EXISTING CONDITIONS.
- 3.02 PREPARATION A. DISCONNECT ELECTRICAL SYSTEMS IN WALLS, FLOORS, AND CEILINGS THAT ARE REMOVED.
- . PROTECT AND SAFEGUARD ANY EXISTING SERVICE LINES AND UTILITY STRUCTURES. COORDINATE UTILITY SERVICE OUTAGES WITH UTILITY COMPANY AND THE OWNER.
- PROVIDE TEMPORARY WIRING AND CONNECTIONS TO MAINTAIN EXISTING SYSTEMS IN SERVICE AS REQUIRED FOR THE SEQUENCING OF THE WORK OR THE OWNER'S NEED FOR CONTINUED OPERATIONS E. MAINTAIN ALL EXISTING POWER, TELEPHONE, AND FIRE ALARM SYSTEMS IN SERVICE UNTIL NEW SYSTEM IS FULLY OPERATIONAL, TESTED, AND READY FOR SERVICE. NOTIFY ALL STAKEHOLDERS (OWNER,
- AUTHORITY HAVING JURISDICTION, UTILITY COMPANY, LANDLORD, ETC.) AT LEAST 48 HOURS BEFORE PARTIALLY OR COMPLETELY DISABLING SYSTEM, DISABLE SYSTEMS ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. AND MINIMIZE ALL OUTAGE DURATIONS.
- 3.03 DEMOLITION AND EXTENSION OF EXISTING ELECTRICAL WORK A. MAINTAIN CONTINUITY OF CIRCUITS AS NEEDED TO PROVIDE POWER TO REMAINING DEVICES, FIXTURES,
- OR EQUIPMENT NOT BEING REMOVED. B. REMOVE, RELOCATE, AND EXTEND EXISTING INSTALLATIONS AS REQUIRED TO ACCOMMODATE NEW
- CONSTRUCTION. EXTEND EXISTING INSTALLATIONS USING MATERIALS AND METHODS COMPATIBLE WITH EXISTING ELECTRICAL INSTALLATIONS OR AS SPECIFIED AND REQUIRED BY CODE.
- REMOVE ALL ABANDONED WIRING, INCLUDING ALL ABANDONED TELECOMMUNICATIONS AND OTHER LOW VOLTAGE CABLING, TO SOURCE OF SUPPLY.
- D. REMOVE EXPOSED ABANDONED CONDUIT AND ABANDONED CONDUIT ABOVE ACCESSIBLE CEILINGS. CUT ABANDONED CONCEALED CONDUIT FLUSH WITH WALLS AND FLOORS.
- E, DISCONNECT AND REMOVE ALL DEVICES, BOXES, DISTRIBUTION EQUIPMENT, LUMINAIRES, AND ALL ASSOCIATED MOUNTING HARDWARE AND APPURTENANCES THAT ARE NOT REQUIRED TO REMAIN.
- F. MAINTAIN ACCESS TO EXISTING ELECTRICAL INSTALLATIONS THAT REMAIN ACTIVE. MODIFY INSTALLATION OR PROVIDE ACCESS PANEL AS APPROPRIATE. G. DISPOSE OF ALL EQUIPMENT NOT REUSED AS PART OF THE WORK. THE OWNER SHALL HAVE FIRST SALVAGE RIGHTS ON ALL MATERIALS AND EQUIPMENT.
- 3.04 CLEANING AND REPAIR A. REPAIR CONSTRUCTION AND FINISHES DAMAGED DURING DEMOLITION AND EXTENSION WORK.
- B. PATCH ALL OPENINGS RESULTING FROM THE INSTALLATION OR REMOVAL OF ELECTRICAL EQUIPMENT OR MATERIALS
- CLEAN AND REPAIR EXISTING MATERIALS AND EQUIPMENT THAT REMAIN OR THAT ARE TO BE REUSED. D. EXISTING AND RELOCATED PANELBOARDS: CLEAN EXPOSED SURFACES, REMOVE ALL FOREIGN MATERIAL
- FROM INTERIORS, CHECK TIGHTNESS OF ELECTRICAL CONNECTIONS, REPLACE DAMAGED CIRCUIT BREAKERS, AND PROVIDE CLOSURE PLATES FOR VACANT POSITIONS E. EXISTING AND RELOCATED LUMINAIRES: CLEAN LUMINAIRE REFLECTORS AND LENSES PER
- MANUFACTURER'S RECOMMENDATIONS, REPLACE ALL LAMPS WITH NEW, REPLACE ANY EXPIRED BALLASTS, AND REPAIR ANY BROKEN ELECTRICAL PARTS. REPLACE ANY EXISTING LUMINAIRES WITH IDENTICAL LUMINAIRE FOR ANY EXISTING LUMINAIRES THAT ARE DAMAGED BEYOND REPAIR. END OF SECTION

SECTION 260502 - TRENCHING AND BACKFILL FOR ELECTRICAL

PART 1 GENERAL 1.01 DEFINITIONS

A. SUBGRADE ELEVATIONS: 4 INCHES BELOW FINISH GRADE UNLESS DIRECTED OTHERWISE.

B. FINISH GRADE ELEVATIONS: 4 INCHES ABOVE SUBGRADE UNLESS DIRECTED OTHERWISE. 1.02 PROJECT CONDITIONS A. PROVIDE SUFFICIENT QUANTITIES OF FILL AND STORE MATERIALS ON SITE IN ADVANCE OF NEED.

SEPARATE DIFFERING MATERIALS WITH DIVIDERS OR STOCKPILE SEPARATELY AND PROTECT STOCKPILES FROM EROSION AND DETERIORATION OF MATERIALS. B. VERIFY ALL SURVEY BENCH MARKS AND INTENDED ELEVATIONS FOR THE WORK.

PROTECT ALL EXISTING LANDSCAPING, HARDSCAPING, EXISTING STRUCTURES, BENCHMARKS, SURVEY CONTROL POINTS, AND OTHER FEATURES TO REMAIN FROM EXCAVATING EQUIPMENT AND VEHICULAR

PART 2 PRODUCTS 2.01 FILL MATERIALS

A. GENERAL FILL: SUBSOIL EXCAVATED FROM SITE AND FREE OF LUMPS LARGER THAN 3 INCHES, ROCKS LARGER THAN 2 INCHES, AND DEBRIS.

B. GRANULAR FILL: NATURAL STONE PEA GRAVEL FREE OF CLAY, SHALE, AND ORGANIC MATTER. C. TOPSOIL: SELECT TOPSOIL EXCAVATED FROM SITE AND FREE OF ROOTS, ROCKS LARGER THAN 1/2 INCH, SUBSOIL, DEBRIS, LARGE WEEDS AND FOREIGN MATTER.

PART 3 EXECUTION 3.01 EXAMINATION

A. IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND DATUM LOCATIONS B. LOCATE AND IDENTIFY ALL UTILITIES AND PROTECT SAME FROM DAMAGE.

- 3.02 TRENCHING A. REPORT ANY UNEXPECTED SUBSURFACE CONDITIONS AND DISCONTINUE AFFECTED WORK IN AREA UNTIL NOTIFIED TO RESUME. B. DO NOT INTERFERE WITH 45 DEGREE BEARING SPLAY OF FOUNDATIONS
- C. CUT TRENCHES WIDE ENOUGH TO ALLOW INSPECTION OF INSTALLED UTILITIES. SLOPE BANKS OF EXCAVATIONS DEEPER THAN 4 FEET TO ANGLE OF REPOSE OR LESS UNTIL SHORED. HAND TRIM EXCAVATIONS AND REMOVE LOOSE MATTER, LARGE STONES, AND OTHER HARD MATTER WHICH COULD DAMAGE UTILITIES OR IMPEDE CONSISTENT BACKFILLING OR COMPACTION. 3.03 PREPARATION FOR UTILITY PLACEMENT
- A. REPLACE SOFT AREAS OF SUBGRADE NOT CAPABLE OF COMPACTION WITH GENERAL FILL B. COMPACT SUBGRADE TO DENSITY EQUAL TO OR GREATER THAN REQUIREMENTS FOR SUBSEQUENT FILL C. MAINTAIN EXCAVATIONS AND PREVENT LOOSE SOIL FROM FALLING INTO EXCAVATION UNTIL READY FOR
- BACKFILL 3.04 BEDDING AND FIL A. BACKFILL TO CONTOURS AND ELEVATIONS REQUIRED USING UNFROZEN MATERIALS AND A PLACEMENT METHOD THAT DOES NOT DISTURB OR DAMAGE OTHER WORK.
- B. UNLESS INDICATED OTHERWISE, USE GRANULAR FILL BEDDING COVERED WITH GENERAL FILL UP TO FINISHED GRADE ELEVATION AND COMPACT ALL FILL MATERIALS IN EQUAL CONTINUOUS LAYERS NOT EXCEEDING 8 INCHES COMPACTED DEPTH TO 97 PERCENT OF MAXIMUM DRY DENSITY. FILL THRUST BEARING SURFACES WITH CONCRETE. 3.05 FIELD QUALITY CONTROL
- A. PERFORM COMPACTION DENSITY TESTING EVERY 2 FEET ON COMPACTED FILL IN ACCORDANCE WITH ASTM D1556, ASTM D2167, ASTM D2922, OR ASTM D3017. EVALUATE RESULTS IN RELATION TO COMPACTION CURVE IN ACCORDANCE WITH ASTM D698, ASTM D1557, OR AASHTO T 180. REMOVE REPLACE, AND RETEST FILL IF TESTS INDICATE WORK DOES NOT MEET SPECIFIED REQUIREMENTS. END OF SECTION

SECTION 260519 - CONDUCTORS AND CABLES

PART 1 GENERAL - NOT USED PART 2 PRODUCTS

- 2.01 BUILDING WIRE AND CABLES A. PROVIDE SINGLE CONDUCTOR BUILDING WIRE INSTALLED IN RACEWAY UNLESS INDICATED OTHERWISE,
- OTHERWISE PERMITTED, OR OTHERWISE REQUIRED. B. ALL CONDUCTORS SHALL BE COPPER CONDUCTORS WITH 600V INSULATION; TYPE THHN FOR DRY AND
- DAMP LOCATIONS AND TYPE THWN-2 FOR WET LOCATIONS. C. METAL CLAD CABLE (TYPE MC): PERMITTED ONLY FOR BRANCH CIRCUITS IN CONCEALED LOCATIONS
- AND ONLY WHEN APPROVED BY APPLICABLE CODES AND AMENDMENTS AND THE AUTHORITY HAVING JURISDICTION. EXPOSED MC CABLE IS NOT PERMITTED; NO EXCEPTIONS. ALL MC CABLE SHEATHS SHALL BE LISTED AND IDENTIFIED FOR GROUNDING 2. ALL MC CABLE SHALL BE EQUIPPED WITH COPPER EQUIPMENT GROUNDING CONDUCTOR. NO
- EXCEPTIONS. D. NONMETALLIC-SHEATHED CABLE (TYPE NM): TYPE NM-B PERMITTED ONLY WITHIN INDIVIDUAL DWELLING UNITS AND COMMON AREAS OF MULTIFAMILY DWELLING OCCUPANCIES WHICH ARE TYPE III, IV, OR V CONSTRUCTION WHEN PERMITTED BY ALL LOCAL AND NATIONAL CODES AND AMENDMENTS AND THE AUTHORITY HAVING JURISDICTION. EXPOSED NM CABLE IS NOT PERMITTED; NO EXCEPTIONS.
- . USE SOLID OR STRANDED CONDUCTORS FOR ALL CONDUCTORS 10 AWG AND SMALLER. USE STRANDED CONDUCTORS FOR ALL CONDUCTORS 8 AWG AND LARGER. F. WIRE SIZES: 1. USE 12 AWG CONDUCTORS, MINIMUM, FOR ALL CIRCUITS UNLESS INDICATED OTHERWISE OR AS
- MODIFIED AS FOLLOWS: a. 20A, 120V CIRCUITS LONGER THAN 75 FEET: 10 AWG TO OFFSET VOLTAGE DROP. b. 20A, 120V CIRCUITS LONGER THAN 150 FEET: 8 AWG TO OFFSET VOLTAGE DROP.
- 20A, 277V CIRCUITS LONGER THAN 150 FEET: 10 AWG TO OFFSET VOLTAGE DROP. 2. WIRE SIZES INDICATED ON THE DRAWINGS OR INDICATED ABOVE SHALL BE CARRIED THROUGH THE ENTIRE CIRCUIT TO THE FURTHEST OUTLET BOX ON THE ASSOCIATED CIRCUIT UNLESS INDICATED
- a. WHERE A CIRCUIT SPLITS INTO MULTIPLE BRANCHES, THE WIRE SIZE SHALL BE CARRIED THROUGH THE ENTIRETY OF EACH BRANCH TO THE FURTHEST OUTLET BOX ON EACH BRANCH UNLESS INDICATED OTHERWISE.
- 2.02 CONTROL CABLES A. ALL CONTROL CABLE CONDUCTOR SIZES, QUANTITIES, STRANDING, AND SHIELDING AS RECOMMENDED BY THE MANUFACTURER AND REQUIRED FOR THE INSTALLATION BUT NO SMALLER THAN 18 AWG. B. HORIZONTAL APPLICATIONS IN CONDUIT: TYPE CL2 UNLESS OTHERWISE REQUIRED. HORIZONTAL APPLICATIONS NOT IN CONDUIT: TYPE CL2P UNLESS OTHERWISE REQUIRED. . RISER APPLICATIONS: TYPE CL2R UNLESS OTHERWISE REQUIRED.

2.03 COMMUNICATIONS CABLES: SEE SECTION 271005.

- 2.04 WIRING CONNECTORS A. USE TWIST-ON INSULATED SPRING CONNECTORS, MECHANICAL CONNECTORS, OR COMPRESSION CONNECTORS FOR CONDUCTOR SIZES 8 AWG AND SMALLER. DO NOT USE PUSH-IN WIRE
- CONNECTORS AS A SUBSTITUTE FOR TWIST-ON INSULATED SPRING CONNECTORS B. USE MECHANICAL CONNECTORS OR COMPRESSION CONNECTORS FOR CONDUCTOR SIZES 6 AWG AND
- C. USE CRIMPED TERMINALS FOR ALL CONTROL CIRCUIT CONDUCTOR CONNECTIONS.
- PART 3 EXECUTION

3.01 PREPARATION: CLEAN RACEWAYS THOROUGHLY TO REMOVE FOREIGN MATERIALS BEFORE INSTALLING CONDUCTORS AND CABLES.

- 3.02 COLOR CODING A. COLOR CODE CONDUCTORS AS FOLLOWS AND MAINTAIN CONSISTENT COLOR CODING THROUGHOUT PROJECT INCLUDING BRANCH CIRCUIT CONDUCTORS. 1. 240/120 V, 1 PHASE, 3 WIRE SYSTEM
 - a. PHASE A: BLACK b. PHASE B: RED
 - c. NEUTRAL/GROUNDED: WHITE EQUIPMENT GROUND: GREEN
- ISOLATED GROUND: GREEN WITH YELLOW STRIPE 3.03 INSTALLATION
- A. CIRCUIT ROUTING INDICATED IS DIAGRAMMATIC. ARRANGE CIRCUITING TO MINIMIZE SPLICES AND INCLUDE CIRCUIT LENGTHS REQUIRED TO INSTALL CONNECTED DEVICES WITHIN 10 FEET OF LOCATION SHOWN. B. COMBINING BRANCH CIRCUITS IN A SINGLE RACEWAY IS PERMITTED UNDER THE FOLLOWING
- CONDITIONS: 1. PROVIDE NO MORE THAN SIX CURRENT-CARRYING CONDUCTORS IN A SINGLE RACEWAY. DEDICATED NEUTRAL CONDUCTORS ARE CONSIDERED CURRENT-CARRYING CONDUCTORS. INCREASE SIZE OF CONDUCTORS AS REQUIRED TO ACCOUNT FOR AMPACITY DERATING.
- SIZE RACEWAYS, BOXES, ETC. TO ACCOMMODATE CONDUCTORS. . NEUTRAL CONDUCTORS:
- 1. PROVIDE SEPARATE NEUTRAL CONDUCTORS FOR: a. BRANCH CIRCUITS PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI) CIRCUIT
- BREAKERS. b. BRANCH CIRCUITS PROTECTED BY ARC FAULT CIRCUIT INTERRUPTER (AFCI) CIRCUIT
- BRFAKFRS. BRANCH CIRCUITS PROTECTED BY SHUNT TRIP CIRCUIT BREAKERS.
- BRANCH CIRCUITS FED FROM FEED-THROUGH PROTECTION OF GFCI RECEPTACLES.
- BRANCH CIRCUITS WITH DIMMING CONTROLS. BRANCH CIRCUITS THAT SERVE EMERGENCY LIGHTING EQUIPMENT SUCH AS EMERGENCY BATTERIES OR EMERGENCY LIGHTING UNIT EQUIPMENT. g. WHERE INDICATED BY THE WIRE COUNTS SHOWN ON THE DRAWINGS.
- 2. MULTIWIRE BRANCH CIRCUITS (SHARED NEUTRALS) ARE PERMITTED WHERE NOT OTHERWISE INDICATED. a. LOCATE ALL MULTIWIRE BRANCH CIRCUITS IN VERTICALLY ADJACENT PANELBOARD POLE
- SPACES AND PROVIDE CIRCUIT BREAKER HANDLE TIES TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CIRCUIT CONDUCTORS. D. PULL ALL CONDUCTORS TOGETHER INTO RACEWAY AT SAME TIME, DO NOT DAMAGE CONDUCTORS OR EXCEED MANUFACTURER'S RECOMMENDED MAXIMUM PULLING TENSION OR SIDEWALL PRESSURE, AND
- USE SUITABLE WIRE PULLING LUBRICANT WHERE RECOMMENDED BY THE MANUFACTURER. SECURE AND SUPPORT CONDUCTORS AND CABLES IN ACCORDANCE WITH NFPA 70 USING SUPPORTS AND METHODS APPROVED BY THE AUTHORITY HAVING JURISDICTION. PROVIDE INDEPENDENT SUPPORT FROM BUILDING STRUCTURE; DO NOT SUPPORT FROM RACEWAYS, PIPING, DUCTWORK, SUSPENDED CEILING SUPPORT SYSTEMS, OR OTHER SYSTEMS AND DO NOT ALLOW CONDUCTORS OR CABLES TO
- LAY ON CEILING TILES. F. CUT ALL CABLES PER THE MANUFACTURER'S RECOMMENDATIONS AND TERMINATE USING SUITABLE FITTINGS INCLUDING ANTI-SHORT, INSULATED BUSHINGS WHERE APPLICABLE. G. PROVIDE A MINIMUM OF 12 INCHES OF SLACK AT EACH OUTLET. PROVIDE A MINIMUM OF 5 FEET OF
- SLACK WHERE CONDUCTORS ARE INSTALLED IN ENCLOSURES FOR FUTURE TERMINATION BY OTHERS. H. NEATLY TRAIN AND BUNDLE CONDUCTORS INSIDE BOXES, WIREWAYS, PANELBOARDS AND OTHER EQUIPMENT ENCLOSURES.
- MAKE WIRING CONNECTIONS USING SPECIFIED WIRING CONNECTORS AND MAKE SPLICES AND TAPS ONLY IN ACCESSIBLE BOXES. DO NOT PULL SPLICES INTO RACEWAYS OR MAKE SPLICES IN CONDUIT J. DO NOT REMOVE CONDUCTOR STRANDS TO FACILITATE INSERTION INTO CONNECTOR. PROVIDE
- CONNECTORS SUITABLE FOR REDUCING TO APPROPRIATE SIZE, BUT NOT LESS THAN REQUIRED FOR THE RATING OF THE OVERCURRENT PROTECTIVE DEVICE, WHERE CONDUCTORS ARE LARGER THAN THE EQUIPMENT TERMINATIONS CAN ACCOMMODATE
- K. INSULATE SPLICES AND TAPS THAT ARE MADE WITH UNINSULATED CONNECTORS USING INSULATING COVERS SPECIFICALLY DESIGNED FOR THE CONNECTORS, OR ELECTRICAL TAPE FOR DRY OR DAMP LOCATIONS. USE HEAT SHRINK TUBING FOR WET LOCATIONS
- PROVIDE FINAL CONNECTIONS TO ALL EQUIPMENT AND DEVICES, INCLUDING THOSE FURNISHED BY OTHERS, AS REQUIRED FOR A COMPLETE OPERATING SYSTEM. M. PROVIDE ALL CONTROL WIRING AND COMMUNICATIONS CABLING, WHETHER OR NOT SHOWN ON THE
- DRAWINGS, PER MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM. END OF SECTION
 - SECTION 260526 GROUNDING AND BONDING

PART 1 GENERAL 1.01 MAXIMUM GROUNDING SYSTEM RESISTANCE: 5 OHMS.

PART 2 PRODUCTS

2.01 ROD ELECTRODES: COPPER, 3/4 INCH DIAMETER, 10 FOOT LONG SOLID RODS. SECTIONAL RODS ARE

NOT PERMITTED. 2.02 CONCRETE ENCASED ELECTRODES: 4 AWG, 20 FOOT LONG BARE COPPER WIRE. 2.03 WIRE: COPPER WIRE SIZED TO MEET NEPA ZO REQUIREMENTS

- 2.04 CONNECTORS AND ACCESSORIES: COPPER, COPPER ALLOY, OR BRONZE MECHANICAL CONNECTORS. PART 3 EXECUTION
- 3.01 INSTALLATION OF GROUNDING ELECTRODE SYSTEM A. AS APPLICABLE TO THE PROJECT, PROVIDE ALL COMPONENTS REQUIRED FOR A COMPLETE GROUNDING ELECTRODE SYSTEM INCLUDING BONDING OF METAL UNDERGROUND WATER PIPE, METAL FRAME OF THE BUILDING, CONCRETE-ENCASED ELECTRODE, METAL ABOVEGROUND WATER PIPING SYSTEM, METAL ABOVEGROUND GAS PIPING SYSTEM, AND ROD ELECTRODE(S) PER NFPA 70 REQUIREMENTS.
- 3.02 INSTALLATION OF EQUIPMENT GROUNDING SYSTEM A. WITHOUT EXCEPTION, PROVIDE INSULATED EQUIPMENT GROUNDING CONDUCTOR SIZED PER NFPA 70 REQUIREMENTS WITHIN EACH FEEDER AND BRANCH CIRCUIT RACEWAY AND TERMINATE EACH END ON SUITABLE LUG. BUS. OR BUSHING.
- 3.03 INSTALLATION OF ISOLATED GROUNDING SYSTEM A. PROVIDE AN ADDITIONAL ISOLATED GROUNDING CONDUCTOR FOR CIRCUITS SERVING ISOLATED GROUND RECEPTACLES. ISOLATED GROUNDING CONDUCTORS SHALL BE ISOLATED FROM THE ISOLATED GROUNDING RECEPTACLE TO THE ISOLATED GROUND BUS IN THE UPSTREAM PANELBOARD. 3.04 TESTING
- A. MEASURE GROUNDING RESISTANCE USING FALL OF POTENTIAL METHOD OR SIGNAL INJECTION METHOD. PROVIDE ADDITIONAL ROD ELECTRODES AS REQUIRED TO REDUCE GROUNDING RESISTANCE TO LESS THAN THE SPECIFIED MAXIMUM PERMITTED VALUE. END OF SECTION
 - SECTION 260529 HANGERS AND SUPPORTS FOR ELECTRICAL SYSTEMS
- PART 1 GENERAL NOT USED

PART 2 PRODUCTS

2.01 HANGERS AND SUPPORTS A. CORROSION-RESISTANT MATERIALS OF SIZE AND TYPE ADEQUATE TO CARRY THE SUPPORTED WEIGHT, INCLUDING THE WEIGHT OF WIRE IN CONDUIT; DO NOT USE PERFORATED PIPE STRAPS AS A MEANS OF SUPPORT 2.02 ANCHORS AND FASTENERS

- A. USE PRECAST INSERTS, PRESET INSERTS, EXPANSION ANCHORS, OR SELF-DRILLING ANCHORS AS APPROVED BY THE STRUCTURAL ENGINEER FOR CONCRETE ELEMENTS.
- B. USE BEAM CLAMPS, STEEL SPRING CLIPS, STEEL RAMSET FASTENERS, OR WELDED FASTENERS FOR STEEL ELEMENTS.
- C. USE TOGGLE BOLTS OR HOLLOW WALL FASTENERS FOR HOLLOW MASONRY, PLASTER, AND GYPSUM BOARD PARTITIONS
- D. USE EXPANSION ANCHORS OR PRESET INSERTS FOR SOLID MASONRY WALLS. E. USE SHEET METAL SCREWS FOR SHEET METAL ELEMENTS AND WOOD SCREWS FOR WOOD ELEMENTS.

PART 3 EXECUTION 3.01 INSTALLATION

- A. PROVIDE ALL REQUIRED BLOCKING AND SUPPLEMENTAL FRAMING REQUIRED TO SECURELY SUPPORT ALL MATERIALS.
- B. FASTEN SUPPORTS TO BUILDING STRUCTURE AND SURFACES ONLY. DO NOT FASTEN SUPPORTS TO
- PIPES, DUCTS, MECHANICAL EQUIPMENT, CONDUIT, OR CEILING SUSPENSION WIRES. C. OBTAIN PERMISSION FROM STRUCTURAL ENGINEER BEFORE DRILLING OR CUTTING STRUCTURAL
- MEMBERS OR BEFORE USING POWDER-ACTUATED ANCHORS D. RIGIDLY WELD SUPPORT MEMBERS OR USE HEX-BOLTS TO PRESENT NEAT APPEARANCE WITH
- ADEQUATE STRENGTH AND RIGIDITY. PROVIDE LOCK WASHERS UNDER ALL NUTS. INSTALL SURFACE-MOUNTED CABINETS AND PANELBOARDS WITH MINIMUM OF FOUR ANCHORS
- PROVIDE STEEL CHANNEL SUPPORTS BEHIND ALL CABINETS AND PANELBOARDS LOCATED IN DAMP OR WET LOCATIONS TO STAND ENCLOSURES 1 INCH OFF WALL
- G. PROVIDE SUPPORTS FOR ALL LOW VOLTAGE WIRING NOT ROUTED IN CONDUIT. END OF SECTION

SECTION 260534 - CONDUIT AND WIREWAYS

PART 1 GENERAL - NOT USED

PART 2 PRODUCTS

- 2.01 CONDUIT A. SIZE: AS REQUIRED BY NFPA 70 FOR THE CONDUCTORS INSTALLED BUT NO SMALLER THAN SPECIFIED.
 - 1. SIZES INDICATED ON THE DRAWINGS: a. ANY CONDUIT SIZES INDICATED TO A UTILITY TRANSFORMER ARE BASED ON SCHEDULE 80 PVC CONDUIT.
 - b. ANY CONDUIT SIZES INDICATED TO THE PRIMARY OR SECONDARY OF A DRY-TYPE TRANSFORMER ARE BASED ON FLEXIBLE METAL CONDUIT (FMC).
 - c. ALL OTHER CONDUIT SIZES ARE BASED ON ELECTRICAL METALLIC TUBING (EMT). d. THE CONTRACTOR IS RESPONSIBLE TO ADJUST CONDUIT SIZES AS REQUIRED WHEN A
- DIFFERENT CONDUIT TYPE IS USED. B. UNDERGROUND: 3/4 INCH MINIMUM RIGID METAL CONDUIT, INTERMEDIATE METAL CONDUIT, SCHEDULE
- 80 PVC, OR SCHEDULE 40 PVC. METAL CONDUITS SHALL BE GALVANIZED OR PVC COATED. C. OUTDOOR LOCATIONS ABOVE GRADE: 1/2 INCH MINIMUM RIGID METAL CONDUIT OR INTERMEDIATE
- METAL CONDUIT. NONMETALLIC CONDUIT IS NOT PERMITTED ABOVE GRADE. CONDUITS SHALL BE GALVANIZED OR PVC COATED.
- D. WITHIN SLABS ABOVE GRADE: 3/4 INCH MINIMUM RIGID METAL CONDUIT, INTERMEDIATE METAL CONDUIT, OR SCHEDULE 80 PVC. METAL CONDUITS SHALL BE GALVANIZED OR PVC COATED. COORDINATE WITH THE STRUCTURAL ENGINEER FOR RESTRICTIONS AND LIMITATIONS ON CONDUITS
- INSTALLED IN SLABS ABOVE GRADE. E. EXPOSED WET AND DAMP LOCATIONS: 1/2 INCH MINIMUM RIGID METAL CONDUIT OR INTERMEDIATE
- METAL CONDUIT. CONDUITS SHALL BE GALVANIZED OR PVC COATED. F. CONNECTIONS TO VIBRATING EQUIPMENT AND LUMINAIRES IN DRY LOCATIONS: 1/2 INCH MINIMUM
- FLEXIBLE METAL CONDUIT G. CONNECTIONS TO VIBRATING EQUIPMENT AND LUMINAIRES IN DAMP AND WET LOCATIONS: 1/2 INCH
- MINIMUM LIQUIDTIGHT FLEXIBLE METAL CONDUIT. H. ALL OTHER DRY LOCATIONS: 1/2 INCH MINIMUM RIGID METAL CONDUIT, INTERMEDIATE METAL CONDUIT, OR ELECTRICAL METALLIC TUBING.
- 2.02 FITTINGS: PROVIDE LISTED FITTINGS IDENTIFIED FOR USE WITH THE CONDUIT. 2.03 WIREWAYS: SQUARE D CLASS 5100 TYPE LDB FOR DRY LOCATIONS OR SQUARE D CLASS 5100 TYPE LDR FOR DAMP AND WET LOCATIONS UNLESS INDICATED OTHERWISE; SIZE AS REQUIRED BY NFPA 70 BASED ON CONDUCTOR FILL AND BENDING RADIUS REQUIREMENTS.

PART 3 EXECUTION 3.01 INSTALLATION

EMBEDDED IN SLABS

PART 1 GENERAL - NOT USED

PART 2 PRODUCTS

2.04 FLOOR BOXES

INDICATED.

2.01 ALL BOXES

- A. CONCEAL ALL CONDUIT IN ALL INTERIOR AND EXTERIOR AREAS, INCLUDING EXPOSED STRUCTURE AREAS, UNLESS THE ARCHITECT PROVIDES SPECIFIC APPROVAL PERMITTING THE USE OF EXPOSED
- B. ROUTE ANY EXPOSED CONDUIT PARALLEL AND PERPENDICULAR TO WALLS.
- C. SUBJECT TO THE ARCHITECT'S APPROVAL, CONDUIT LOCATED ABOVE CEILINGS IS PERMITTED TO BE ROUTED POINT-TO-POINT PROVIDED IT IS SECURED AND SUPPORTED PER NFPA 70 REQUIREMENTS AND COMPLIES WITH ALL APPLICABLE CODES AND OTHER REQUIREMENTS OF THE SPECIFICATIONS.

D. DO NOT EMBED CONDUIT IN SLABS-ON-GRADE. LOCATE CONDUIT A MINIMUM OF 2 INCHES BELOW

E. ROUTE CONDUIT IN SLABS-ABOVE-GRADE FROM POINT-TO-POINT. DO NOT CROSS CONDUITS

H. SECURE AND SUPPORT ALL CONDUIT IN COMPLIANCE WITH NFPA 70 REQUIREMENTS AND GROUP

K. PROVIDE SLEEVES WHEN PENETRATING FOOTINGS, MASONRY WALLS AND FLOORS AND SEAL ALL

L. PROVIDE SUITABLE FITTINGS TO ACCOMMODATE EXPANSION AND DEFLECTION WHERE CONDUIT CROSSES

I. PROVIDE 12 INCHES OF CLEARANCE BETWEEN CONDUIT AND PIPING OR SURFACES WITH

I. INSTALL NO MORE THAN EQUIVALENT OF THREE 90 DEGREE BENDS BETWEEN BOXES.

M. PROVIDE SUITABLE PULL STRING IN EACH EMPTY CONDUIT EXCEPT SLEEVES AND NIPPLES.

N. PROVIDE CAPS TO PROTECT INSTALLED CONDUIT AGAINST ENTRANCE OF DIRT AND MOISTURE.

0. SECURE WIREWAY TO BUILDING SURFACES AND CLOSE ENDS OF WIREWAY AND UNUSED CONDUIT

END OF SECTION

SECTION 260537 - BOXES

A. NONMETALLIC BOXES ARE NOT PERMITTED UNLESS INDICATED OTHERWISE OR WITHOUT SPECIFIC

B. PROVIDE ALL REQUIRED BOX HANGERS AND SUPPORTS, EXTENSION RINGS, MUD RINGS, ETC. FOR A

C. USE GANG BOXES WHERE MORE THAN ONE DEVICE IS MOUNTED TOGETHER; DO NOT USE SECTIONAL

A. DRY AND DAMP LOCATIONS: GALVANIZED NEMA OS 1 STAMPED STEEL BOX RATED FOR THE WEIGHT

B. WET LOCATIONS: GALVANIZED CAST METAL NEMA FB 1 TYPE FD BOX WITH GASKETED COVER AND

A. DRY AND DAMP LOCATIONS: GALVANIZED NEMA OS 1 STAMPED STEEL BOX SIZED PER NFPA 70

B. WET LOCATIONS: GALVANIZED NEMA 250 TYPE 4 CAST IRON OR CAST ALUMINUM BOX WITH GROUND

FLANGE, NEOPRENE GASKET, AND STAINLESS STEEL COVER SCREWS AND SIZED PER NFPA 70

A. ALL FLOOR BOXES: NONMETALLIC FLOOR BOXES ARE PERMITTED. ALL METAL FLOOR BOXES LOCATED

IN SLABS ON GRADE SHALL BE CAST METAL. METAL FLOOR BOXES INSTALLED IN ELEVATED SLABS

NONMETALLIC: WIREMOLD MODULINK 880MP2 SERIES UNLESS INDICATED OTHERWISE WITH

. METAL: WIREMOLD OMNIBOX SERIES UNLESS INDICATED OTHERWISE WITH NUMBER OF GANGS AS

1. NONMETALLIC: WIREMOLD WMFB SERIES UNLESS INDICATED OTHERWISE WITH NUMBER OF GANGS

2. METAL: WIREMOLD 880W SERIES UNLESS INDICATED OTHERWISE WITH NUMBER OF GANGS AS

D. INDOOR RECESSED FLOOR BOXES: WIREMOLD RFB SERIES UNLESS INDICATED OTHERWISE WITH

E. EXTERIOR FLOOR BOXES: WIREMOLD OUTDOOR GROUND BOX SERIES OR EQUAL AS MANUFACTURED

BY COMBINED UTILITIES BOX SYSTEMS (CUBS) UNLESS INDICATED OTHERWISE WITH WIRING DEVICES

NUMBER OF GANGS AS REQUIRED FOR THE DEVICES INSTALLED WITHIN.

NUMBER OF COMPARTMENTS AS REQUIRED FOR THE DEVICES INSTALLED WITHIN.

OF THE EQUIPMENT SUPPORTED AND SIZED PER NFPA 70 REQUIREMENTS FOR THE DEVICE(S) AND

THREADED HUBS AND SIZED PER NFPA 70 REQUIREMENTS FOR THE DEVICE(S) AND CONDUCTORS

NFPA 70, LOCAL CODE, AND UTILITY COMPANY REQUIREMENTS.

ADJACENT CONDUITS ON STEEL CHANNEL RACKS AND TRAPEZES.

PENETRATIONS THROUGH FOOTINGS AND FLOORS WATER TIGHT.

P. GROUND AND BOND CONDUIT AND WIREWAYS AS REQUIRED BY NFPA 70.

TO PREVENT MISALIGNMENT DURING WIRING INSTALLATION

TEMPERATURES EXCEEDING 104 DEGREES F.

SFISMIC. CONTROL. AND EXPANSION JOINTS.

WRITTEN APPROVAL FROM THE ARCHITECT

REQUIREMENTS FOR THE CONDUCTORS INSTALLED WITHIN.

REQUIREMENTS FOR THE CONDUCTORS INSTALLED WITHIN.

REQUIRED FOR THE DEVICES INSTALLED WITHIN.

REQUIRED FOR THE DEVICES INSTALLED WITHIN.

AS REQUIRED FOR THE DEVICES INSTALLED WITHIN.

COMPLETE AND SECURE INSTALLATION.

CONDUCTORS INSTALLED WITHIN.

ARE PERMITTED TO BE STAMPED STEEL

B. INDOOR FLUSH FLOOR BOXES FOR CONCRETE FLOORS:

C. INDOOR FLUSH FLOOR BOXES FOR WOOD FLOORS

2.02 OUTLET AND SMALL JUNCTION BOXES

INSTALLED WITHIN.

2.03 PULL AND LARGE JUNCTION BOXES

THE BOTTOM SURFACE OF THE SLAB TO AVOID FUTURE DAMAGE FROM CUTTING OF THE FLOOR SLAB.

F. ROUTE UNDERGROUND CONDUIT FROM POINT-TO-POINT AND AT A BURIAL DEPTH IN COMPLIANCE WITH

G. ARRANGE CONDUIT TO MAINTAIN HEADROOM AND PRESENT NEAT APPEARANCE AND ARRANGE SUPPORTS

A. INSTALL IN LOCATIONS INDICATED AND AS REQUIRED FOR SPLICES, TAPS, WIRE PULLING, EQUIPMENT CONNECTIONS, AND AS REQUIRED BY NFPA 70 B. INSTALL PULL BOXES AND JUNCTION BOXES ABOVE ACCESSIBLE CEILINGS AND IN UNFINISHED AREAS

C. INSTALL OUTLET BOXES FOR ALL WALL-MOUNTED WIRING DEVICES AT HEIGHTS INDICATED IN SECTION 262726 UNLESS INDICATED OTHERWISE. COORDINATE MOUNTING HEIGHTS AND LOCATIONS OF OUTLETS MOUNTED ABOVE COUNTERS, BENCHES, AND BACKSPLASHES PRIOR TO ROUGH-IN. D. USE FLUSH BOXES IN FINISHED AREAS. DO NOT INSTALL FLUSH BOXES BACK-TO-BACK IN WALLS; PROVIDE MINIMUM 6 INCHES AND ONE STUD SEPARATION. . LOCATE FLUSH BOXES IN MASONRY WALLS TO REQUIRE CUTTING OF MASONRY UNIT CORNER ONLY. COORDINATE MASONRY CUTTING TO ACHIEVE NEAT OPENING. INSTALL ALL WALL-MOUNTED BOXES PLUMB AND LEVEL INSTALL ALL CEILING-MOUNTED BOXES LEVEL AND ORIENTED PARALLEL WITH BUILDING LINES AND CEILING GRID TEES WHERE APPLICABLE. H. INSTALL ALL FLOOR BOXES LEVEL AND ORIENTED PARALLEL WITH BUILDING LINES AND TILE GROUT LINES WHERE APPLICABLE VERTICALLY ALIGN ADJACENT WALL MOUNTED OUTLET BOXES FOR SWITCHES, THERMOSTATS, SIMILAR DEVICES INSTALL CONCEALED BOXES WITHIN 6 INCHES FROM CEILING ACCESS PANELS, AIR DISTRIBUTION DIFFUSERS, OR REMOVABLE RECESSED LUMINAIRES K. SUPPORT BOXES INDEPENDENTLY OF CONDUIT; DO NOT SUPPORT BOXES FROM CEILING SUPPORT

L. INSTALL KNOCKOUT CLOSURES IN UNUSED BOX OPENINGS. M. INSTALL COVER PLATES ON BOXES; SEE SECTION 262726 FOR COVER PLATE SPECIFICATIONS. N. GROUND AND BOND BOXES AS REQUIRED BY NFPA 70. END OF SECTION

SECTION 260553 - IDENTIFICATION FOR ELECTRICAL SYSTEMS

PART 1 GENERAL - NOT USED

PART 2 PRODUCTS

PART 3 EXECUTION

2.01 NAMEPLATES: ENGRAVED LAMINATED PLASTIC WITH 1/8 INCH LETTERS ON CONTRASTING BACKGROUND. 2.02 LABELS: AS REQUIRED BY REGULATORY AGENCIES. 2.03 WIRE MARKERS: CLOTH, TAPE, SPLIT SLEEVE, OR TUBING TYPE.

3.01 NAMEPLATES: PROVIDE NAMEPLATES WITH THE UNIQUE EQUIPMENT DESIGNATION AT EACH ELECTRICAL DISTRIBUTION AND CONTROL EQUIPMENT ENCLOSURE, COMMUNICATION CABINET, AND CONTROL DEVICE STATION 3.02 WARNING LABELS: PROVIDE ALL REGULATORY REQUIRED AND INDUSTRY STANDARD WARNING LABELS ON

ALL ELECTRICAL EQUIPMENT, INCLUDING HIGH-VOLTAGE, TESTED SERIES RATED COMBINATION, AND ARC FLASH

HAZARD LABELING. 3.03 WIRE MARKERS: PROVIDE WIRE AND CABLE MARKERS AT PANELBOARD GUTTERS, PULL BOXES, OUTLET BOXES. AND JUNCTION BOXES FOR EACH LOAD CONNECTION. INDICATE BRANCH CIRCUIT OR FEEDER NUMBER INDICATED ON DRAWINGS AND CONTROL WIRE NUMBER INDICATED ON SHOP DRAWINGS. 3.04 COLOR CODE LEGEND: PROVIDE IDENTIFICATION LABEL IDENTIFYING CONDUCTOR COLOR CODES AT EACH PIECE OF FEEDER OR BRANCH-CIRCUIT DISTRIBUTION EQUIPMENT. 3.05 INSTALLATION

A. INSTALL NAMEPLATES AND LABELS PARALLEL TO EQUIPMENT LINES. B. SECURE NAMEPLATES FOR DISTRIBUTION EQUIPMENT VISIBLE TO THE PUBLIC TO THE INSIDE SURFACE OF DOOR. C. SECURE NAMEPLATES FOR DISTRIBUTION EQUIPMENT NOT VISIBLE TO THE PUBLIC TO THE FRONT OF THE ENCLOSURE USING SCREWS, RIVETS, OR ADHESIVE. END OF SECTION

SECTION 260595 - FIRE STOPPING

PART 1 GENERAL 1.01 PREPARATION: EXAMINE THE COMPLETE SET OF DRAWINGS AND IDENTIFY ALL FIRE RATED PARTITIONS, FLOORS AND ASSEMBLIES AND IDENTIFY APPROPRIATE FIRESTOPPING METHOD FOR THE ASSEMBLY.

2.01 FIRESTOPPING ASSEMBLIES: USE ONLY SYSTEMS LISTED BY UL OR FM OR TESTED IN ACCORDANCE WITH ASTM E 814 OR ASTM E 119 THAT HAVE F RATING EQUAL TO FIRE RATING OF PENETRATED ASSEMBLY AND MINIMUM T RATING EQUAL TO F RATING.

2.02 MATERIALS: ELASTOMERIC SILICONE FIRESTOPPING, FOAM FIRESTOPPING, FIBERED COMPOUND FIRESTOPPING, FIBER PACKING MATERIAL, MECHANICAL FIRESTOP DEVICES, INTUMESCENT PUTTY, AND FIRESTOP PILLOWS ARE PERMITTED.

PART 3 FXECUTION 3.01 INSTALLATION

PART 2 PRODUCTS

A. COMPLY WITH FIRESTOPPING MANUFACTURER'S RECOMMENDATIONS FOR TEMPERATURE AND OTHER ENVIRONMENTAL CONDITIONS BEFORE, DURING, AND AFTER INSTALLATION. PROVIDE VENTILATION IN AREAS WHERE SOLVENT-CURED MATERIALS ARE BEING INSTALLED. B. PROTECT ADJACENT SURFACES FROM DAMAGE BY MATERIAL INSTALLATION

. CLEAN SUBSTRATE SURFACES OF DIRT, DUST, GREASE, OIL, LOOSE MATERIAL, OR OTHER MATTER WHICH MAY AFFECT BOND OF FIRESTOPPING MATERIAL. REMOVE INCOMPATIBLE MATERIALS WHICH MAY AFFECT BOND. INSTALL BACKING MATERIALS TO ARREST LIQUID MATERIAL LEAKAGE. D. APPLY THE APPROPRIATE FIRE STOPPING MATERIALS AND SYSTEMS TO MAINTAIN THE FIRE RATING OF THE PARTITION, FLOOR, OR CEILING ASSEMBLY BEING PENETRATED. E. INSTALL MATERIALS IN MANNER DESCRIBED IN FIRE TEST REPORT AND IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, COMPLETELY CLOSING OPENINGS. DO NOT COVER INSTALLED FIRESTOPPING UNTIL INSPECTED BY AUTHORITY HAVING JURISDICTION. . INSTALL ANY LABELING REQUIRED BY CODE. H. CLEAN ADJACENT SURFACES OF FIRESTOPPING MATERIALS.

END OF SECTION

SECTION 262717 - EQUIPMENT WIRING

PART 1 GENERAL 1.01 COORDINATION WITH OTHER TRADES

AND BOXES REQUIRED.

PART 3 EXECUTION

A. MEET WITH ALL OTHER TRADES BEFORE COMMENCING ANY WORK AND OBTAIN AND REVIEW SHOP DRAWINGS, PRODUCT DATA, MANUFACTURER'S WIRING DIAGRAMS, AND MANUFACTURER'S INSTRUCTIONS FOR EQUIPMENT FURNISHED UNDER OTHER SECTIONS. 1. DETERMINE ALL EQUIPMENT CONNECTION LOCATIONS AND REQUIREMENTS AND VERIFY THAT

PROPER POWER SUPPLY IS AVAILABLE PRIOR TO SUBCONTRACTOR'S ORDERING EQUIPMENT. 2. CALCULATE THE AVAILABLE FAULT CURRENT AT ANY EQUIPMENT REQUIRED TO CARRY A SHORT-CIRCUIT CURRENT RATING (SCCR) AND COMMUNICATE THE MINIMUM SCCR REQUIRED TO THE CONTRACTOR SUPPLYING THE EQUIPMENT PRIOR TO THE EQUIPMENT BEING ORDERED.

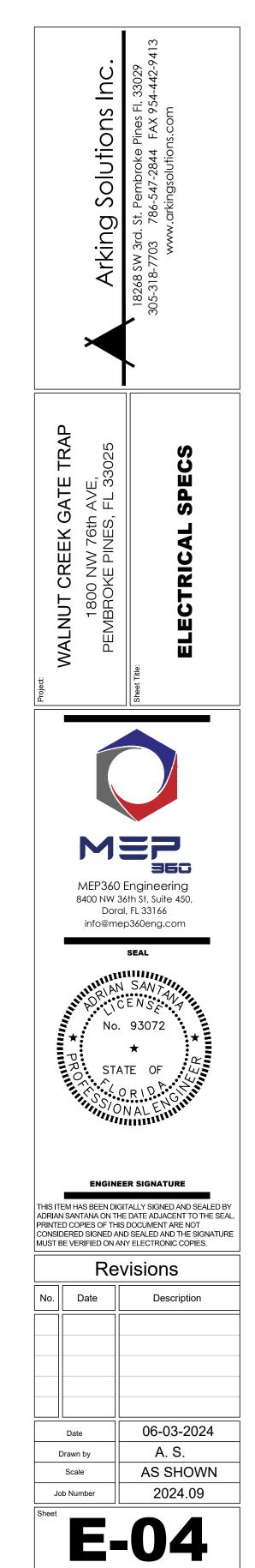
3. SEQUENCE ROUGH-IN OF ELECTRICAL CONNECTIONS TO COORDINATE WITH INSTALLATION OF FOUIPMENT. 4. SEQUENCE ELECTRICAL CONNECTIONS TO COORDINATE WITH START-UP OF EQUIPMENT. B. VERIFY AND COORDINATE ALL REQUIREMENTS AND INSTALLATION DETAILS OF ALL MATERIALS AND EQUIPMENT PRIOR TO ROUGH-IN. C. VERIFY PROPER VOLTAGE, PHASE, AND CURRENT RATING OF POWER SUPPLY AND IMMEDIATELY REPORT ANY DISCREPANCIES. D. RESPONSIBILITY FOR VERIFICATION OF PROPER POWER SUPPLY VOLTAGE AND ANY DAMAGE RESULTING FROM INCORRECT CONNECTIONS SHALL REST WITH THIS CONTRACTOR. E. ANY CONFLICTS ARISING FROM LACK OF COORDINATION SHALL BE THIS CONTRACTOR'S RESPONSIBILITY.

PART 2 PRODUCTS 2.01 CORDS A. DESCRIPTION: MULTI-CONDUCTOR FLEXIBLE CORD TYPE SO FOR DRY AND DAMP LOCATIONS OR TYPE SOW IN WET LOCATIONS. B. CONDUCTOR QUANTITY: AS REQUIRED FOR THE LOAD SERVED; INCLUDE IDENTIFIED EQUIPMENT GROUNDING CONDUCTOR.

. CONDUCTOR INSULATION RATING: AS REQUIRED FOR THE VOLTAGE OF THE LOAD SERVED. D. CONDUCTOR AMPACITY: NO LESS THAN THE RATING OF THE OVERCURRENT PROTECTION DEVICE PROTECTING THE CIRCUIT.

2.02 CORD CAPS: MATCH CORD CAP TO RECEPTACLE CONFIGURATION AT OUTLET PROVIDED FOR EQUIPMENT. 2.03 OTHER MATERIALS: PROVIDE ALL DISCONNECT SWITCHES, WIRING DEVICES, CONDUIT, WIRE AND CABLE,

3.01 ELECTRICAL CONNECTIONS A. MAKE ELECTRICAL CONNECTIONS IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S INSTRUCTIONS. B. MAKE CONDUIT CONNECTIONS TO EQUIPMENT USING FLEXIBLE CONDUIT. USE LIQUIDTIGHT FLEXIBLE CONDUIT WITH WATERTIGHT CONNECTORS IN DAMP OR WET LOCATIONS. CONNECT HEAT PRODUCING EQUIPMENT USING WIRE AND CABLE WITH INSULATION SUITABLE FOR TEMPERATURES ENCOUNTERED. PROVIDE RECEPTACLE OUTLET TO ACCOMMODATE CONNECTION WITH ATTACHMENT PLUG. PROVIDE CORD AND CAP WHERE FIELD-SUPPLIED ATTACHMENT PLUG IS REQUIRED. INSTALL SUITABLE STRAIN-RELIEF CLAMPS AND FITTINGS FOR CORD CONNECTIONS AT OUTLET BOXES AND EQUIPMENT CONNECTION BOXES. G. INSTALL DISCONNECT SWITCHES, CONTROLLERS, CONTROL STATIONS, AND CONTROL DEVICES TO COMPLETE EQUIPMENT WIRING REQUIREMENTS. H. INSTALL TERMINAL BLOCK JUMPERS TO COMPLETE EQUIPMENT WIRING REQUIREMENTS INSTALL INTERCONNECTING CONDUIT AND WIRING BETWEEN DEVICES AND EQUIPMENT TO COMPLETE EQUIPMENT WIRING REQUIREMENTS. J. CUT AND SEAL CONDUIT OPENINGS IN FREEZER AND COOLER WALLS, FLOORS, AND CEILINGS WHERE APPLICABLE. END OF SECTION





Arking Solutions Inc.

October 14, 2024

Att. Mrs. Gloria Perez Project Manager. Special District Services, Inc.

Ref: WALNUT CREEK MAIN ENTRANCE IMPROVEMENT.

ARKING SOLUTIONS INC. is pleased to submit the following proposal to provide the services required for "ADJUST CONTROL ACCESS"

SCOPE OF WORK:

Furnish Labor, Material and Tools.

- Sunshine Utilities Location.
- M.O.T.
- Cut and Remove existing concrete curb.
- Demo existing asphalt for new curb.
- Excavation for new curb.
- Concrete Curb Type "D" 3,000 P.S.I. up to 90 LF
- New Sod and Grass.
- Electrical connections for relocation and new arm barrier.
- Junction box.
- Excavation and Piping.
- New Mega Arm Barrier. (1)
- 12 led red and green 12 foot long. (2)
- Relocation existing Arm Barrier. (1)
- Reinforced Concrete bases. (2)
- Arms Barrier surface sensors. (2)
- Load and haul away construction debris and trash.

THERMOPLASTIC STRIPING

2 Un. 24" Stop Solid Yellow Line4 Un. Yellow Solid Arrow.30 LF. 6" Yellow solid Line.

18268 SW 3rd St Pembroke Pines, FL 33029

phone: (305)-318-7703 | fax: (954)-442-9413





25 Un. RPM (2 Way Reflective Marking 4x4) 150 LF. 4" Solid White Line.

1 Un. Sign R2-5A & W13-01
 1 Un. Sign C.S.2 Reflective.
 2 Un. R10-6
 1 Un. Sing C.S.1 Reflective.
 1 Un. R1

Construction \$43,850=

PERMIT PROCESS Process with Pembroke Pines & Public Works Broward County \$2,400=

Not Included: Irrigation Systems. Asphalt Patching, according Public Works requirements. Fire devices if is required. (Knox Box)

PAYMENT SCHEDULE:50% Deposit payment.40% As per progress work.10% Final Payment.Best Regards,

Martha L. Arango

Martha L. Arango C.G.C. Construction Manager Acceptance:_____

18268 SW 3rd St Pembroke Pines, FL 33029

phone: (305)-318-7703 | fax: (954)-442-9413



The Certified General Contractors Group

Proposal

January 10, 2025

Walnut Creek CDD Att: Gloria Perez

Project: Walnut Creek Community Main Entrance Modification

The Certified General Contractors Group (CGC) is pleased to offer the following proposal for the scope of work as per a plans. This proposal is good for 30 days. Based upon a walkthrough, we are offering the following scope of work:

Demolition

Removal and dispose D curb ٠

Landscaping

- Cut down and dispose of tree (Per plans) ٠
- Installation of proposed Sod with +/- 3" top soil (St. Augustine / Bahia) ٠

Earthwork

- Cut down proposed new pavement areas to sub grade ٠
- Install LRB in preparation for new pavement ٠

Pavement

- Installation of new concrete D Curb at 18" ٠
- Install proposed pavers ٠
- Install Gate arm concrete pads ٠

Electrical:

Installation of new electrical gate arms (Qty. 2) * All materials and fasteners to be provided ٠

Permitting & MOT:

- Submitting of permit documents
- Facilitating of Inspection process ٠
- MOT Included ٠

Price for the above scope only: \$ 47,300.00

Notes:

- PAYMENT- 30 day from last day of completion of the job. -
- Any changes to the above scope of work will constitute a revision to the contract price. -
- This proposal does not include any As-Built(s), and inspection fees if any. ÷

Thank you for the opportunity to provide this proposal. Please call the number listed below should you have any questions.

P.O. Box 561893, Pinecrest, Florida 33256 Office: (305) 898-9760 Fax: (866) 401-0409 • Email: jc@cgcontractors.net

Best Regards,

| The Certified General Construction Group | Accepted: | Date: |
|--|-----------|-------|
|--|-----------|-------|

Client

 P.O. Box 561893, Pinecrest, Florida 33256 Office: (305) 898-9760 Fax: (866) 401-0409 Email: jc@cgcontractors.net

ESTIMATE

ELITE INNOVATIONS & SOLUTIONS LLC

12426 EMERALD CREEK CT PLANTATION, Florida 33325 United States

| BILL TO WALNUT CREEK CDD | Estimate Number: | E- 2814 |
|-----------------------------|--------------------------|------------------|
| WALNOT ONLER ODD | Estimate Date: | January 4, 2025 |
| | Valid Until: | February 3, 2025 |
| | Estimate Total (USD): | \$66,280.00 |

| Items | Quantity | Price | Amount |
|---|----------|-------------|-------------|
| SCOPE OF WORK Demolition / disposal of existing concrete D-Curb (195 LF) | 1 | \$2,850.00 | \$2,850.00 |
| SCOPE OF WORK Removal / Disposal of existing tree at exit | 1 | \$2,850.00 | \$2,850.00 |
| SCOPE OF WORK Removal of existing green area to subgrade and installation of limerock base at entrance and exit | 1 | \$7,850.00 | \$7,850.00 |
| SCOPE OF WORK Installation of concrete D-curb (130 LF) | 1 | \$6,850.00 | \$6,850.00 |
| SCOPE OF WORK Installation of new pavers at exit where existing median was | 1 | \$5,850.00 | \$5,850.00 |
| SCOPE OF WORK Installation of new Sod within new entrance gate median | 1 | \$2,750.00 | \$2,750.00 |
| SCOPE OF WORK Installation of electrical gate arms | 1 | \$29,580.00 | \$29,580.00 |
| WIRE & CABLE #4/0 #4 #10 THHN CONDUIT 2' PVC CONDUIT 4" PVC 3/4" PVC SWITCH GEAR 200A PANEL 20A 1-POLE BREAKER GATE ARMS INSTALLATION OF GATE ARMS LABOR AND MATERIALS (* Gate arms not included in proposal to be provided) | | | |
| SCOPE OF WORK Installation of concrete pads for new arm gates | 2 | \$1,850.00 | \$3,700.00 |



ESTIMATE

ELITE INNOVATIONS & SOLUTIONS LLC

12426 EMERALD CREEK CT PLANTATION, Florida 33325 United States



| Items | Quantity | Price | Amount |
|---|----------|-----------------------|-------------|
| SCOPE OF WORK Permitting & Document Submittals | 1 | \$4,000.00 | \$4,000.00 |
| | | Total: | \$66,280.00 |
| | | Estimate Total (USD): | \$66,280.00 |





Estimate

| Date | Estimate # |
|-----------|------------|
| 10/4/2024 | 2024-1342 |

Name / Address

WALNUT CREEK CDD 7500 NW 20th St. Pembroke Pines, FL 33024

| Description TRAP SYSTEM FOR TAFT VISITOR ENTRANCE THE ESTIMATE INCLUDES THE FOLLOWING: - ELECTRICAL DISCONNECTION AND REMOVAL OF EXISTING GATE OPERATOR - TRENCH AND CONCRETE SLAB FOR EXISTING OPERATOR - ELECTRICAL CONNECTION OF EXISTING GATE OPERATOR - TRENCH AND CONCRETE SLAB FOR NEW GATE OPERATOR - ELECTRICAL CONNECTION FOR NEW OPERATOR - 24 INCH TRENCH FOR CONDUIT FROM EXISTING TO NEW ARM GATE OPERATOR - 24 INCH TRENCH FOR CONDUIT FROM THE GATE OPERATORS TO GUARD HOUSE BREAKER BOX - CONDUITS & JUNCTION BOXES - UNDER GROUND ELECTRICAL AND LOW VOLTAGE WIRING - PAVERS REMOVAL AND REINSTALLATION - 4 GROUND LOOP DETECTORS - 4 LOOP DETECTORS - LOW VOLTAGE WIRING FROM GATE OPERATORS TO GUARD HOUSE CONTROLLER ELECTRICAL WIRING FROM GATE OPERATORS TO GUARD HOUSE CONTROLLER - ELECTRICAL WIRING FROM GATE OPERATORS TO GUARD HOUSE BREAKER BOX - 1 NEW GATE OPERATOR WITH LED ARM - 1 GREEN/RED LED TRAFFIC LIGHT - 6 STOP, REDUCE SPEED, 5MPH, STOP ON RED, STOP IN GATE TRAP, GATE TRAP AHE - ELECTRICAL CONNECTIONS AND TERMINATIONS - REVIEW PLANS AND SURVEY (Provided by Customer) - CODES - MEASUREMENTS - CIRCUIT BREAKER MINIMUM REQUIREMENTS - GATE OPERATOR EXACT COORDINATES - SIGNED AND SEALED BY AN ENGINEER - ELECTRICAL PRMIT FEES | | | | erms |
|--|-----|--|----------------|-----------|
| TRAP SYSTEM FOR TAFT VISITOR ENTRANCE THE ESTIMATE INCLUDES THE FOLLOWING: - ELECTRICAL DISCONNECTION AND REMOVAL OF EXISTING GATE OPERATOR - TRENCH AND CONCRETE SLAB FOR EXISTING OPERATOR - ELECTRICAL CONNECTION OF EXISTING GATE OPERATOR - ELECTRICAL CONNECTION FOR NEW GATE OPERATOR - ELECTRICAL CONNECTION FOR NEW OPERATOR - 24 INCH TRENCH FOR CONDUIT FROM EXISTING TO NEW ARM GATE OPERATOR - 24 INCH TRENCH FOR CONDUIT FROM THE GATE OPERATORS TO GUARD HOUSE BREAKER BOX - CONDUITS & JUNCTION BOXES - UNDER GROUND ELECTRICAL AND LOW VOLTAGE WIRING - PAVERS REMOVAL AND REINSTALLATION - 4 GROUND LOOP DETECTORS - 4 LOOP DETECTORS - LOW VOLTAGE WIRING FROM GATE OPERATORS TO GUARD HOUSE CONTROLLER ELECTRICAL WIRING FROM GATE OPERATORS TO GUARD HOUSE CONTROLLER - ELECTRICAL WIRING FROM GATE OPERATORS TO GUARD HOUSE BREAKER BOX - 1 NEW GATE OPERATOR WITH LED ARM - 1 GREEN/RED LED TRAFFIC LIGHT - 6 STOP, REDUCE SPEED, 5MPH, STOP ON RED, STOP IN GATE TRAP, GATE TRAP AHE - ELECTRICAL CONNECTIONS AND TERMINATIONS - REVIEW PLANS AND SURVEY (Provided by Customer) - CODES - MEASUREMENTS - CIRCUIT BREAKER MINIMUM REQUIREMENTS - GATE OPERATOR EXACT COORDINATES - SIGNED AND SEALED BY AN ENGINEER | | | Due on receipt | |
| THE ESTIMATE INCLUDES THE FOLLOWING: ELECTRICAL DISCONNECTION AND REMOVAL OF EXISTING GATE OPERATOR TRENCH AND CONCRETE SLAB FOR EXISTING OPERATOR ELECTRICAL CONNECTION OF EXISTING GATE OPERATOR TRENCH AND CONCRETE SLAB FOR NEW GATE OPERATOR 24 INCH TRENCH FOR CONDUIT FROM EXISTING TO NEW ARM GATE OPERATOR 24 INCH TRENCH FOR CONDUIT FROM EXISTING TO NEW ARM GATE OPERATOR 24 INCH TRENCH FOR CONDUIT FROM THE GATE OPERATORS TO GUARD HOUSE BREAKER BOX CONDUITS & JUNCTION BOXES UNDER GROUND ELECTRICAL AND LOW VOLTAGE WIRING PAVERS REMOVAL AND REINSTALLATION 4 GROUND LOOP DETECTORS 4 LOOP DETECTORS LOW VOLTAGE WIRING FROM GATE OPERATORS TO GUARD HOUSE BREAKER BOX 1 NEW GATE OPERATOR WITH LED ARM 1 GREEN/RED LED TRAFFIC LIGHT 6 STOP, REDUCE SPEED, 5MPH, STOP ON RED, STOP IN GATE TRAP, GATE TRAP AHE ELECTRICAL CONNECTIONS AND TERMINATIONS REVIEW PLANS AND SURVEY (Provided by Customer) CODES MEASUREMENTS CIRCUIT BREAKER MINIMUM REQUIREMENTS GATE OPERATOR EXACT COORDINATES SIGNED AND SEALED BY AN ENGINEER | Qty | | / Cost | Total |
| ELECTRICAL DISCONNECTION AND REMOVAL OF EXISTING GATE OPERATOR TRENCH AND CONCRETE SLAB FOR EXISTING OPERATOR ELECTRICAL CONNECTION OF EXISTING GATE OPERATOR TRENCH AND CONCRETE SLAB FOR NEW GATE OPERATOR ELECTRICAL CONNECTION FOR NEW OPERATOR 24 INCH TRENCH FOR CONDUIT FROM EXISTING TO NEW ARM GATE OPERATOR 24 INCH TRENCH FOR CONDUIT FROM THE GATE OPERATORS TO GUARD HOUSE BREAKER BOX CONDUITS & JUNCTION BOXES UNDER GROUND ELECTRICAL AND LOW VOLTAGE WIRING PAVERS REMOVAL AND REINSTALLATION 4 GROUND LOOP DETECTORS 4 LOOP DETECTORS LOW VOLTAGE WIRING FROM GATE OPERATORS TO GUARD HOUSE CONTROLLER ELECTRICAL WIRING FROM GATE OPERATORS TO GUARD HOUSE BREAKER BOX 1 NEW GATE OPERATOR WITH LED ARM 1 GREEN/RED LED TRAFFIC LIGHT 6 STOP, REDUCE SPEED, 5MPH, STOP ON RED, STOP IN GATE TRAP, GATE TRAP AHE ELECTRICAL CONNECTIONS AND TERMINATIONS REVIEW PLANS AND SURVEY (Provided by Customer) CODES MEASUREMENTS CIRCUIT BREAKER MINIMUM REQUIREMENTS GATE OPERATOR EXACT COORDINATES SIGNED AND SEALED BY AN ENGINEER | 1 | | 40,700.00 | 40,700.00 |
| - FIRE PERMIT FEES - ESTIMATED PERMIT PROCESSING FEES OF UPTO \$1,500.00 - CITY PERMIT FEES NOT INCLUDED | | ERATOR D HOUSE NTROLLER KER BOX | | |

Ship To

Earth Advisors, Inc.

Providing Urban Forestry, Arboriculture, and Landscape Expertise, Consulting, and Management for over 30 years. Phone: 954 987 1885 Email: <u>eai@earthadvisors.com</u> Website: www.earthadvisors.com

Landscape Audit- Common Areas Landscape Conditions

Report Date: 10/1/24; revised 10/15/24

Inspection Date: 9/31/24

To: Walnut Creek Community Development District Atn: Gloria Perez, Manager

Project: Landscape Conditions Audit

Summary: Earth Advisors provides Quality Assurance Inspections for landscaping on properties, including audits per any existing Landscape Maintenance Contract for property owners. Having an Audit done by an industry expert with experience and knowledge of maintenance contracts and green industry standards does provide information needed to judge performance of contractors and potential deficiencies and/or damages in the landscape that are not known without that expertise.

These inspections provide observations and recommendations for the Board and Property Manager to gauge the performance of the Landscape Maintenance Contractor. These reports are often shared with the contractor, and provide the contractor with information they can use to better manage the work crews maintaining the property, and correct any work deficiencies observed.

This Audit is to review the landscape conditions at the start of a new landscape maintenance contractor. It was completed on Sept 31, 2024. The main concerns for this Audit are: To evaluate results of past maintenance practices, highlight current conditions for health and any damages, and to gauge the condition of the landscape as the residents experience it.

Results and Recommendations: Many areas of the landscape have not been maintained to average or customary levels for plant health and for sizes (heights and widths). Lawns do not show regular edging for hardscapes and landscape bed shapes. Locations with pest infestations and other locations with nutrient deficiencies were observed. Dead trees, dead palms, dead shrubs, dead ornamentals, and damaged areas of lawns, were all identified in our sample locations. These landscape conditions should have been reported by the prior maintenance company to management, for decisions regarding these damages, areas of overgrown plantings, and areas of missing plantings. Changing maintenance task specifications and adding missing services to the work being done are recommended to help improve landscape conditions and the performance of the new contractor.

Inspection points for this Report include different landscape areas throughout the Common Areas of the community. These are landscape beds, community entrances, guard house areas, roadway corridors, perimeter landscape areas, and perimeter landscape near the club house. Our focus for this inspection was centered on landscape maintenance performance and overall landscape material health, using current Landscape/Green Industry Best Management Practices (BMPs). Observations of landscape conditions are included with photos and captions to best show the current state of landscape conditions.

A separate report will be provided with results of our associated Irrigation Wet Check, which includes 20 sample irrigation zones for operating conditions and settings for watering the landscape in those areas. We expect to be checking sample zones next week, and providing our report in next 2 weeks.

Clubhouse – The first area inspected was the Clubhouse landscape beds including the parking islands and perimeter berm.



Above: Located at crossroads of perimeter berm at Clubhouse – Turf dieback is shown along the sidewalk. Also pictured are mower tracks against the incline. This is typically due to mowing pattern. Following the same pattern each mowing can negatively affect the turf areas over time by causing ruts or tracks. By utilizing alternate mowing patterns or possibly different mowing equipment, this condition can be corrected over time.



Above: A high volume of Dollar weeds and other turf weeds are present. Dollar weeds can be an indicator of excessive wetness, from rains and/or irrigation settings. Weed control as part of past maintenance needs to be reviewed.

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Above: Turf in the swale is in poor condition with dieback, weeds and discoloration.



Above: A utility box is in need of edging. Edging of walkways, roads, curbs, sidewalks, hardscape features, landscape beds, tree rings, and utilities is typically required during each mowing service visit. The specifications for mowing, edging, turf weed control, need to be reviewed for what work met or did not meet specifications. The past contract had general services, or tasks, without performance standards for each that can be used to qualify work as complete or incomplete prior to making monthly payments.



Above & Below: Much of the landscape material, shrubs and ornamental plants, is old and overgrown for the landscape beds. A general Useful Life Expectancy (ULE) is 10-15 years in average maintained commercial landscapes (like associations). These Pittosporum show major dieback and decline overall. Replacement of plant material such as this is recommended since no specialty pruning or fertilization can restore plants that have sections that have died.

Locations such as this should have been identified by past contractor for dying plants, and recommendations for removal and replacement, or increased maintenance practices for pruning, fertilization, irrigation, and pest control could have been done prior to the current level of dieback.



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Above: The perimeter berm plant material was in decline and showing signs of nutritional deficiencies; The discolored areas of this Philodendron are an indicator of this. Lack of fertilization, irrigation, and pest control are issues from past maintenance.



Above: The perimeter berm of the Clubhouse has plant material that has grown together and is comingled densely. This condition can make proper maintenance more difficult. Thinning out some of the plant material in this area would be beneficial and is recommended. Past maintenance that included greater weeding of beds, pruning and thinning of foliage and shrubs, and maintained size ranges for different types of plants, would have kept this from being the current mixed up plants condition.



Above: Located at Clubhouse parking islands – Perimeter parking hedges are over pruned and sparse in areas. Maintaining the inner edge (Car-side) of these hedges is most important, however, allowing the outer edges (redline) to flush out will add to the overall health and vitality of these plants. There is also a lot of empty space in these beds, needing replacement plantings to improve the property.



Above: There were several irrigation risers that were damaged and leaning sharply- see in red circle. These risers need to be repaired and straightened to provide necessary coverage as designed. Large areas of empty space in these beds we recommend have replacement plantings.



Above & Below: High amounts of trash/litter was present within and around hedges around parking areas.





Above: The Ficus hedge material at the Clubhouse is aged and in poor condition. Narrow spaces need different species choices than in the past. Replacement with another plant type (possibly Podocarpus) is recommended.



Above: Narrow strips of turf near parking areas and other hardscape are hard to maintain. Consider adding sod to widen the lawn to at least standard mower width (24" or wider), or remove these narrow strips and add mulch up to the hard surface. A border of perennial groundcover or dwarf shrubs as a second tier for these landscape beds is an enhancement to consider for community improvements.



Above: Located near the fountain area – landscape liner material has rolled up and looks unsightly. Adding fresh mulch and securing this material will improve the appearance of this high visibility area.



Above: The overall appearance of the playground area was good and showing well. Adding additional mulch would be beneficial.



Above: A dead Queen Palm located within the perimeter berm of the Clubhouse area. THERE ARE MULITIPLE DEAD PALMS, DEAD TREES, AND OTHER DEAD PLANTS, WE OBSERVED IN COMMON AREAS. THESE ALL SHOULD HAVE BEEN IDENTIFIED AND LISTED FOR REMOVAL BY PRIOR CONTRACTOR.

A separate Arborist Report can be provided to facilitate removal.

South Entrance – The second area inspected was the South Entrance and Guardhouse landscape beds. This area includes NW 20th Street (Near Lake) to Taft Street.



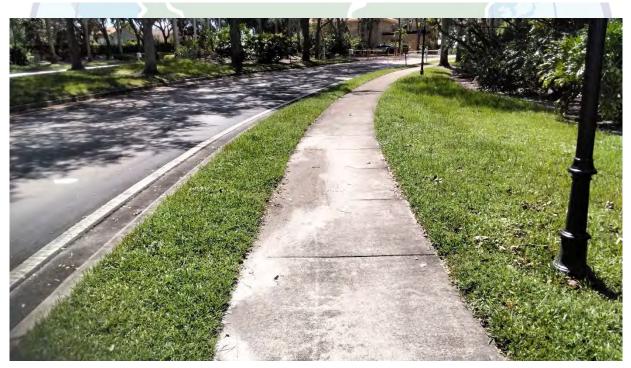
Above: Landscape beds in this area were in fair condition and showed well. The addition of mulch would be beneficial, and edging of lawns is recommended to define and shape the landscape bed perimeters, and reduce weeds encroaching into the beds.



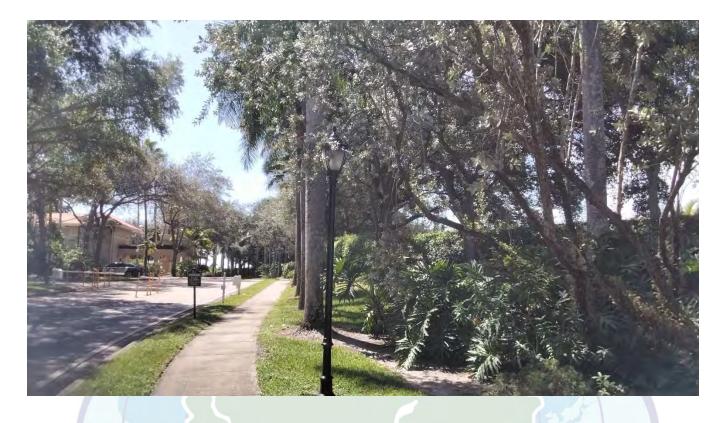
Above: There are signs of dieback for lawns along the lake edges, most likely due to string line trimmers cutting grass too short. Care must be taken not to scalp the turf in these areas.



Above: A dead Japanese Fern tree is located near the lake. A separate Arborist Report can be provided to facilitate removal.



Above: Located along NW 76th St. Turf in this area was approx. 3" to 4" in maintained height and had a low presence of turf weeds. The sidewalks and curbs and poles are in need of edging. Edging for the landscape beds and tree rings is also needed.



Above & Below: A light pole is in need of Clearance Pruning. The sidewalks and curbs and poles are in need of edging. Edging for the landscape beds and tree rings is also needed.



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Above: Royal Palms near the Guard house have a high number of dead/hanging fronds. These fronds will fall over the sidewalk and or street. A potential solution may be attaching banding around the crown shaft to prevent fronds from falling on targets below, between scheduled pruning dates.. These bands will need to be serviced every 6 months to a year.



Above: Wires are shown running above ground and within the perimeter hedge. These wires can cause conflict with maintenance operations.

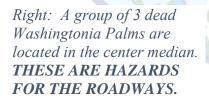


Above and Below: Utility boxes are overtaken by turf. There is a lack of lawn edging on numerous features and utilities throughout the community.





Above: A, irrigation box is overtaken by turf due to lack of edging practices.



A separate Arborist Report can be provided to facilitate removal.



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Above: Located on Southbound NW 76th Ave. A badly decayed and hollow Royal Palm trunk is shown. A separate Arborist Report can be provided to facilitate removal.



Above: Located in the center median near the Guard house – A dead Washingtonia Palm. THIS IS A HAZARD FOR ROADWAY CORRIDOR.

A separate Arborist Report can be provided to facilitate removal.

Community Entrances & ROW's – These areas include NW 20th St. & NW 76th Ave.



Above: Located along NW 20^{th} St. – Narrow strips of turf are hard to maintain successfully. The walkway, road edge, and landscape bed are in need of edging.



Above: Located along NW 20th St. – A Ficus hedge is showing signs of dieback likely caused by Whitefly infestation. Pest control is a necessary maintenance task for any landscape. A pest scouting report is recommended to be performed by the Contractor with treatment based on the results.



Above & Below: A Community marquee landscape bed is showing poorly with dead plant material, lack of mulch, and needing edging. These are focal points of the community, and should be much better maintained, containing healthy landscape plants. Replacement plantings are needed, and a more modern Landscape Design can be produced for these areas.





Above: Missing plants and an unbalanced landscape bed is shown at this Marquee. New plant material and design are recommended to improve appearance.



Above: A landscape bed contains a high level of weeds, missing plants, lack of mulch and edging.



Above: A lake edge is showing well with a low presence of turf weeds. The turf height is a maintained 3" to 4" height.



Above: Located along NW 76th Ave. – Canopy trees have been maintained at an acceptable height above roadways to allow for service vehicles required access. Hedge is trimmed tightly, with thin layer of live foliage. Rejuvenation pruning can help thicken foliage depth.



Above & Below: Missing plants across sign front, weeds, and an unbalanced bed are shown. New plant material and design would improve this area's appearance.





Above & Below: A high volume of weeds, dead plant material, missing plant material, are observed. Attention is needed for these areas. New plant material and design are recommended.





Above & Below: Marquee landscape beds are showing poorly. Weeds, missing plant material lack of mulch and edging are observed. New plant material and design are recommended. Dry conditions cause need to check irrigation settings in these areas.





Above & Below: Stumps remain at the base of this marquee, that is missing landscape plantings. New plants and design are recommended.





Above: Bougainvillea is growing well and is in good health. Trimming for clearance is recommended to keep plants within curb edges.



Above: Located along NW 20^{th} St. – A Ficus hedge is showing signs of dieback most likely caused by Whitefly infestation. A pest scouting report provided by the maintenance Contractor is recommended with treatment based on results. Old and overgrown hedges are more susceptible to pest infestations.



Above: Located along NW 20^{th} St. – An irrigation box has been overtaken by turf. Edging is required to assure location, maintenance and proper function.

North Entrance and Guard house -



Above: A center median on NW 76th St near the guard house is showing poorly. Missing plants, and excessive weeds are observed.

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Above: Wires are shown running above ground and within the perimeter hedge. These wires can cause conflict with maintenance operations. Open areas in beds missing plants.



Above: Located at the North Entrance guard house – Hedges are recently trimmed, healthy and showing well.



Above: Located along NW 76th Ave. near the guard house. A hedge is growing over and onto the walkway. Pruning enough to provide ADA clearance will remove majority of foliage and branches. This hedge is in poor location next to the walkway, was not planted with adequate growing space, and now is pedestrian hazard. Removal is recommended, with groundcover or small maturing shrubs as replacement for first tier border between sidewalk and Ficus hedge..

END OF REPORT

We look forward to continuing working with you for a better shared environment In Support, John A. Harris, Landscape Economist; MS, MBA, BS, AAS Certified Arborist #OH-0274A, Certified Forester, Registered Consulting Arborist, Certified Landscape Inspector,

Qualified Tree Risk Assessor, Professional Mangrove Trimmer, Nursery Tree Grader, Tree and Plant Appraisal Qualified

| Earth Ac | lvisors, In | ıc. | | 2024 Landscape Audit Worksheet- SAMPLE DEAD TREES AND PALMS | | | | | | | | | | |
|--------------|-------------|-----------------------|----------------------|---|----------|--------|----------------|--------------|--------------|--------|---|---------------------------|---|----------------|
| Client: V | /alnut Cr | eek Community Dev | elopment District, G | loria Perez, District M | lanager, | c/o Sp | ecial District | Services, In | ic., 8785 SW | 165 Av | enue, Suite 200, Miami, FL 33193 | | | |
| Property: C | | ape Areas | | | | | | | | | | | ment produced by Earth Advisors, Inc. with | 0 |
| Date: Octobe | | | | | | | | | | | No reproductio | ons or alterations are al | lowed without express written permission of | |
| | Address | | | | Ht in | dbh in | CRZ Radius in | TPZ & Cnpy | Cnpy Area in | | | | | Disposition by |
| Item # | Num | Address Street | Common Name | Scientific Name | Feet | Inches | Feet | Radius in Ft | Sq Ft | Cndtn | Observations | MTC1 | Comments | Client |
| | | | | | | | | | | | Disease damaging plant, Wildlife holes and/or | X1- High Risk | | |
| 1 | 2110 | Northwest 75th Way | Queen Palm | Syagrus romanzoffiana | 25 | 10 | 4 | 0 | 0 | 0 | damage in trunk | Removal | | |
| | | | | | | | | | | | Dieback or decline overall, Leaders Codominant, | | | |
| | | | | | | | | | | | Leaning trunk/stem, Roots pot bound (to size of | X2 Recommended | 1 | |
| 2 | 7625 | Northwest 19th Court | Japanese Fern | Filicium decipiens | 15 | 4 | 2 | 7.5 | 177 | 10 | nursery container) | Removal | | |
| | | | | | | | | | | | | X1- High Risk | | |
| 3 | 1800 | Northwest 76th Avenue | Mexican Fan Palm | Washingtonia robusta | 40 | 11 | 4 | 0 | 0 | 0 | | Removal | | |
| | | | | | | | | | | | | X1- High Risk | | |
| 4 | 1800 | Northwest 76th Avenue | Mexican Fan Palm | Washingtonia robusta | 40 | 13 | 5 | 0 | 0 | 0 | | Removal | | |
| | | | | | | | | | | | | X1- High Risk | | |
| 5 | 1800 | Northwest 76th Avenue | Mexican Fan Palm | Washingtonia robusta | 40 | 15 | 6 | 0 | 0 | 0 | | Removal | | |
| | | | | | | | | | | | Dieback or decline overall, Trunk damage- | X1- High Risk | | |
| 6 | 1744 | Northwest 75th Way | Royal Palm, Cuban | Roystonea regia | 40 | 18 | 7 | 10 | 314 | 35 | Wound or cut >4" | Removal | Decay in trunk, hollow | |
| | | | | | | | | | | | | X1- High Risk | | |
| 7 | 1800 | Northwest 76th Avenue | Mexican Fan Palm | Washingtonia robusta | 45 | 9 | 4 | 0 | 0 | 0 | Wildlife holes and/or damage in trunk | Removal | | |
| | | | | | | | | | | | | X1- High Risk | | |
| 8 | 7855 | Northwest 19th Court | Ligustrum | Ligustrum japonicum | 20 | 14 | 6 | 7.5 | 177 | 0 | Leaders Codominant | Removal | | |



Earth Advisors, Inc.

Providing Urban Forestry, Arboriculture, and Landscape Expertise, Consulting, and Management for over 30 years. Phone: 954 987 1885 Email: <u>eai@earthadvisors.com</u> Website: www.earthadvisors.com

Landscape Audit- Common Areas Irrigation System

Report Date: 11/5/24; updated 11/19/24

Inspection Date: 11/4/24

To: Walnut Creek Community Development District Atn: Gloria Perez, Manager

Project: Landscape Audit- Irrigation System Wet Check (Sampling of Zones)

Summary: Earth Advisors provides Quality Assurance Inspections for Landscape Maintenance Contracts for property owners, property managers, contractors, and government agencies. Having an Audit done by an industry expert with experience and knowledge of maintenance contracts and green industry standards provides information needed to judge performance of contractors, identify actual and potential deficiencies and/or damages in the landscape, and recommendations for actions to repair or replace damaged and missing landscape plants and areas. Many of our Audit projects include inspecting, doing a Wet Check (observing specific irrigation zones and valves and control clocks and pump stations to report about their operating status and conditions), because irrigation is a necessary for health and growth of landscape plants in our region.

These inspections provide observations and recommendations for the Board and Property Manager to gauge the performance of the Landscape Maintenance Contractor. These reports are often shared with the contractor and provide the contractor with information they can use to better manage the work crews maintaining the property.

This Report is regarding the results of our Wet Check, Irrigation Audit, for the community. We met with Greener Image's Irrigation Technician, Juan, and inspected a sample set of irrigation zones, control clocks, and the main pump station. There are significant damages and reasons for the lack of irrigation across the community that we observed. Getting irrigation to be operating for zones across the Common Areas is not simply doing replacement or repairs of irrigation heads or leaking pipes and valves.

Results and Recommendations:

The following observations and images are provided to illustrate the condition of the irrigation system for the locations chosen as sample or example parts of the overall system. Inspection locations were chosen to include Common Areas and a few residential zones, to provide examples of the irrigation system in these separate parts of the community. Choices of sample locations were made with input from Greener Image staff, so that the main reasons for irrigation being deficient for your community were included in our work. Observations are included along with photos and captions to best show the current state of irrigation conditions.

Main Issue to Resolve: We were not able to observe much of the operating status for the irrigation system in Common Areas, zone by zone throughout the community, BECAUSE THE MAIN PUMP STATION HAS DAMAGES THAT NEED REPAIR, AND HAS BEEN IN THIS CONDITION FOR AN UNKNOWN PERIOD OF TIME (AT LEAST LONGER THAN THE CURRENT GREENER IMAGE CONTRACT, AND POSSIBLY MORE THAN A YEAR).

The zones we were able to operate with the Irrigation Technician from Greener Image were for around the Clubhouse and main road, and for example locations of irrigation zones within neighborhoods for residences.

There is much variability for the 160 (current estimated total) irrigation zones that are part of the overall irrigation system for Walnut Creek community. Zones that do not turn on from different irrigation control clocks, zone valves that are not operating, and then damages to pipes and/or heads within zones, all exist. These conditions pre-date the Greener Image contract, and reviewing what irrigation maintenance and repairs were included for Wolfer and other prior landscape maintenance contractors would be a next step in review of why the irrigation system has so many parts of it damaged and inoperable at this time.

Having major damages to resolve starting with the main pump station, and then repairs needed from that starting point through locations of main lines to controller clocks to zones lines to valves to heads, shows that maintenance of this irrigation system overall has been deficient for a period of time. Some of the conditions of zones appear to have been not operating for at least a year and maybe longer.

There is a need for an overall Irrigation System Map, or at least a sketch, showing locations of the major components of the system, that would usually include: Pump stations, controller clocks, valves, zone areas, and sometimes heads within zones. Not having the as built Irrigation Plan that should be in your records for the irrigation system layout and design, leaves any new contractor without a reference for both checking each part of the system, and recording their observations and results for repairs as they are identified and as they are completed.



Above: Main Pump Station, located near the Clubhouse – Hoover pumps are located here. During the initial inspection when Greener Image started work, and still at this time, these pumps need repair and not functioning adequately to run large areas of the irrigation system zones. These main pumps are IN NEED OF REPAIR immediately. Contacting the manufacturer (Hoover) is required to resolve numerous operating issues. This appears to have been a preexisting condition dating back to the previous Contractor. A working rain sensor is also needed here, per water management standards.



Above: Located at Clubhouse and Playground area – This is Zone 4 on the location clock. A mix of Rotors and Pop-up heads are utilized well here. There are some elevation changes and slopes here. Turf was consistent from high to low areas. Adequate pressure and coverage were observed.



Above: Located at Clubhouse near Porte-cochere – This is Zone 4 on the location cock. A dry sidewalk is observed during operation. Pop-up heads are utilized in this area. Adequate pressure and coverage were observed for this high visibility area of the property.



Above: Located at Clubhouse near south Porta-cochere – This area was Zone 6 on the location clock. A mix of Risers, Bubblers and Pop-ups are utilized in this area. Good coverage was observed as the 90's, 45's and 180's (riser nozzles) were well placed and adjusted for the landscape material. A dry road is also observed during operation, showing maintenance of the heads and settings.



Above: Zone 6 at Clubhouse – A bubbler is in operation at the base of a Palm. As suggested by the Technician, this bubbler was to be capped as it was redundant within the landscape and was not necessary. There is adequate coverage by spray heads..



Above: Located at Clubhouse parking/entrance – This is Zone 7 on the Location Clock. An area of low coverage is observed here. This is attributed to several breaks/damaged heads/damaged risers in the area. These areas were pointed out by the irrigation tech and are in line for repairs to be performed. Having multiple breaks within a zone is the likely cause for the poor coverage due to LOW water pressure.

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Above: Located at Clubhouse parking – This is Zone 7 on the location clock. One of several line breaks is shown. The impact of tree roots growing into and around pipes, causing damages in this area, is a consistent issue for Risers and Pop-ups in this zone. This is an example of damages that exist in other locations where irrigation and tree roots conflict all across the property.

Parking and foot traffic on the parking islands is also a contributing factor to frequent breaks and issues in this zone. The result is low pressure and diminished coverage. Repairs are being performed.



Above & Below: Located along the outer perimeter of the Clubhouse parking at the corner of NW 20th St & N74th Way – This is Zone 8 on the location clock. Rotors are shown along the sidewalk. Pressure was improved in this area and coverage was good.



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Above: Located near Clubhouse exit along NW 20^{th} St – This is Zone 9 on the location clock. A mix of Rotors, Pop-ups and Risers are shown. Good pressure and coverage is displayed next to a dry street.



Above: Located near Main Pump station – This is Zone 1 on the location clock. Risers are in use here. There was one broken head near the pool area that is to be repaired.



Above: Located along the perimeter of the Clubhouse – This is Zone 2 on the location clock. A riser is shown distributing water through a 45deg spray head and is well adjusted to the landscape bed. Pressure is good; however, one break was present and will be repaired.



Above: Located near 7935 NW 20th St. A residential irrigation zone is shown. Mostly Risers and Pop-ups are present. This is Zone 2 on the location clock. There is some adjustment needed in these areas as risers are leaning and some irrigation valve boxes need edging. Pressure is adequate in this location.



Above: Located near 7981 NW 20th St - This is Zone 4 (a residential Zone) on the location clock. A broken head is shown. Tree root intrusion as well as pedestrian traffic/parking can be a continual cause of broken equipment.

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Above: Located near 7981 NW 20th St - This is Zone 4 (a residential Zone) on the location clock. A valve box is shown. Tree root intrusion as well as pedestrian traffic/parking can be a continual cause of broken equipment. Edging of these utility/valve boxes is a usual landscape maintenance task to assure accessibility and functionality. Check what edging for lawn areas and landscape beds is included in Greener Image Contract.



Above: Located in common area along NW 20th St. This is Zone 11. Rotors and Pop-ups are utilized here. Good pressure and overlapping coverage are observed.





Above: Located within common area and along canal near NW78th Way. This is Zone 28 on the location clock. This is a large zone that utilizes rotors. Pressure is adequate and coverage is overlapping.





Above: Located Near entrance of Maple Glenn – This is Zone 1 on the location clock. Pop-ups and Risers are utilized in this residential zone. Tree roots have caused some risers to lean and will need adjustment from time to time. Pop-ups in this area may get damages from car tires and will require repair as needed.



Above: Located within Mahogany Bend Community near 7390 NW 17th Ct. This is Zone 20 on the location clock. Pop-ups and Risers are utilized. Coverage and pressure are adequate. Utility/Valve boxes are in need of edging.

END OF REPORT

We look forward to continuing working with you for a better shared environment. In Support,

John A. Harris, Landscape Economist; MS, MBA, BS, AAS

CASCA ||RCA #468 Registered Consulting Arborist*

Certified Arborist #OH-0274A, Certified Forester, Registered Consulting Arborist, Certified Landscape Inspector, Qualified Tree Risk Assessor, Professional Mangrove Trimmer, Nursery Tree Grader, Tree and Plant Appraisal Qualified



Providing Urban Forestry, Arboriculture, and Landscape Expertise, Consulting, and Management for over 30 years. Phone: 954 987 1885 Email: <u>eai@earthadvisors.com</u> Website: www.earthadvisors.com

Irrigation System Audit-Wet Test and Mapping Irrigation Components

Date: 11/25/24; revised 01/08/25

Client: Walnut Creek Community Development District, Gloria Perez, District Manager

c/o Special District Services, Inc. 8785 SW 165 Avenue, Suite 200 Miami, FL 33193

Gloria; 786 347 2726

Project: Walnut Creek Community- Irrigation System West Test and Mapping- CDD and HOA property areas

| Services to be Provided: | |
|---|---|
| This Proposal is for Earth Advisors to provide Landscape, Arboricultural, Irrigation, and Environmental Consulting to complete the listed Scope of Services within common areas of property | Principal Rate: |
| named. This project is to provide documentation for irrigation system components listed. We reviewed the site and are prepared to start work according to the following specifications. The | \$195/hour |
| recommendations we provide will continue to help you to control costs, assure that the contracted work is 100% performed, and provide a third-party independent assessment of the performance for your | Professional Rate: \$150/hour |
| landscape work. We utilize and teach Best Management Practices in these types of projects. Client to provide at start of work (as available): Landscape Plan(s), Irrigation Plan(s), Vendor | |
| Contracts, Maintenance Specifications, As Built Plans, and/or Site Plan(s) for our use in this project. | Associate Rate: \$125/hour |
| Scope of Services: | Pricing: |
| | i nomg. |
| 1. Irrigation System West Test and Mapping: We will produce an Irrigation System Map showing ONLY THE LOCATIONS OF ZONE VALVES, CONTROLLERS AND CONTROL CLOCKS, | 1. A. Phase 1- \$10,780 Price includes 5 days for |
| PUMP STATIONS AND PUMPS (not all irrigation heads). This will be done using our GPS equipment with a usual location accuracy of +/- 3-5 feet. | locating and GPS field mapping, and 0.5 days |
| This includes an itemized Irrigation Components Locations Worksheet, listing valves, controllers, and pump stations, with condition observations and recommendations for the irrigation system. | for producing Locations Map and Worksheet. |
| We do not include the time to trace any wire breaks or investigate the causes for any system break or damage within zones. This follow up investigative work can be provided additionally (decision to be | Time for Irrigation |
| made by Client). We do not include the time to list and take locations for all irrigation heads in all zones (likely 10-25 | Technician from Turf Management (who has |
| heads per zone), and can add that work up request of Client. | +/- 20 years of |
| We do include testing each zone where the zone valve is operating, to observe the irrigation heads for damages needing repairs, adjustments for coverage, and how many are operating as planned/designed | experience with this irrigation system) is |
| for coverage of landscape areas. There are +/-160 irrigation zone valves with +/- 308 zones (some zone valves are connected to | \$650/day * 5 days= \$3,250, AND IS |
| more than 1 zone) and 3 pump stations (at lakes for water intake for irrigation system) to be | INCLUDED IN THIS PRICE (as |
| inventoried and included for this project. | subconsultant for Earth |
| A. Phase 1- Research and investigation to locate pump stations, controller and control clocks, and zone valves. | Advisors, paid by Earth Advisors) |
| There is no current Irrigation System Map or reference documents showing approximate | Auvisors) |
| locations for the components of the system. Finding all the zone valves is a time consuming | |
| process that starts with locating and inventory of the pump stations and controllers, then turning | |
| on each zone at each controller and finding where that zone is operating on the property, so we | |
| can find each zone valve. This work cannot be estimated accurately, so we are including an | |

| initial 5 days of field work as Phase 1. At completion of field work, we will then provide results of this work, and be able to better estimate what remaining time is needed to locate and inventory the remaining zone valves for the total irrigation system of this property, including Wet Test to observe the irrigation heads operating for all zones that have operating valves (cannot observe heads operating if no water gets to a valve and then through a valve to each head in each zone). | |
|---|--|
| B. Phase 2- Continuing research and investigation for remaining zone valves not located in Phase 1. Time and price to be determined at end of Phase 1 work. | 1. B. \$TBD Price to be estimated based on zones that remain to be found and mapped after finish of Phase 1. |
| 2. Additional consulting, site visits and meetings as requested by Client. Each additional task/project request (i.e.: Complete inventory of landscape, assessment of wetlands and natural areas conditions, inventory of irrigation zone heads and settings, remediation work inspections, etc.) will be tracked as additional tasks to assist with record keeping of work done. | 2. Billed at listed rates for requests of additional work from Client. |
| Billing is for all project related time (field work, report and exhibits production, meetings, travel time). Travel costs are only billed when project is more than 2 hours drive from our local office. Invoicing is done bi-weekly or monthly with work description for tasks completed. Deposit credited within final invoice. NO WORK IS SCHEDULED WITHOUT PRE-APPROVAL BY CLIENT FOR EACH TASK. | Billing is for actual hours and costs expended; not set price. |
| Deposit Amount: Payment is preferred via ACH or Wire (account provided upon request). You can also mail checks to: Earth Advisors, 5861 SW 13 Street, Plantation, FL 33317 | \$5,390 Phase 1 Total Price = \$10,780 |
| Item 2 (Optional)- Tasks approved by Client are billed at listed rates for any meetings, reviews, documents, and other tasks/work requested. | The second se |

Earth Advisors is staffed by professional Urban Foresters, Arborists, Horticulturists, and Landscape Inspectors. We utilize associates with expertise in their fields to provide the most accurate, efficient and useful information available to clients. We stand behind our work and can additionally answer any questions or fulfill needs for additional information or services. Client is responsible for timely payment. Any billing over 30 days past due will be charged 1.5 percent interest per month up to date of payment. All reasonable collection costs, legal fees and court costs to gain payment are payable by client to Earth Advisors.

Signature below accepts this proposal and authorizes work as stated.

In Support, For Earth Advisors, Inc. Accepted by, For Client

John A. Harris, President

Client or Authorized Representative

Earth Advisors, Inc.

www.earthadvisors.com

(800)545-6554

eai@earthadvisors.com





Earth Advisors staff work with homeowner associations, condominiums, property managers, cities, agencies, and businesses to improve our shared environment.

| Landscape Health and Condition Evaluations™- | For landscapes, trees, groves, and forests we provide itemized maintenance plans, inventory, and budgets for annual maintenance work. These are site specific to your needs and budget. |
|---|--|
| Sustainable Landscape Design Services- | Evaluation, planning, and/or designing SUSTAINABLE landscapes for the properties you manage. Earth Advisors will utilize waterwise and SUSTAINABLE landscape principles to produce a valuable landscape maintained within a budget. |
| Bid Management- | Production of performance based contract documents to use for competitively bidding projects, and work performance inspections to ensure the proper results. |
| Project Management- | Use our Quality Assurance Inspections to verify and control maintenance costs for common area landscapes, Residential landscapes, park landscapes, commercial landscapes, and golf courses. |
| GIS and Location Mapping- | We have the ability to add this facet to any of the above for submeter accuracy in your projects. Our full color maps are an invaluable tool in managing your properties with the utmost accuracy. Landscape items are easily seen in relation to your property, neighboring properties, and the structures within them. |
| Storm Response Services- | Our damage assessments and appraisals for damage and insurance claims use national standardized valuation methods to help you recover more quickly from unexpected events. |
| Natural Areas Management and Restoration- | We are scientific, hands on professionals in these often difficult areas: Habitat Assessments, Wetlands Assessments and Delineations, Wildlife Surveys, Environmental Assessments, Mitigation Programs, Plant Community Restorations, |

Endangered Species Monitoring and Preservation, and Environmental Violation Negotiations. Page 112

From: Miguel Reto <miguel@landshore.com>
Sent: Monday, January 13, 2025 3:40 PM
To: Gloria Perez <gperez@sdsinc.org>
Cc: Landshore Enterprises, LLC <info@landshore.com>
Subject: Walnut creek - Re-evaluation of the canal

Hello Gloria,

Please consider this email an informal update regarding the re-evaluation of the canal at the intersection of Sheridan Street and N 72nd Ave.

Landshore completed the survey of the canal on December 11, 2024. Since then, our team has reviewed the collected data and evaluated the changes over time. We noted some material loss and embankment shifting, though not to an extent that would necessitate a design update.

On another matter, Landshore observed the presence of nests along the shoreline and within the proposed staging area for the construction phase of this project. The nests along the shoreline may belong to gopher tortoises or another burrowing species. The nests in the staging area appear to be those of Florida burrowing owls, as indicated by the signage.

The presence of these nests complicates the proposed restoration of the area. We recommend that the community engage a wildlife environmental specialist to study the situation and provide guidance on how to proceed.

Landshore will provide an updated set of plans reflecting the changes observed in the embankment as well as these additional findings.

Best Regards, Miguel Reto Project Engineer/Estimator *Fort Lauderdale*



Landshore Enterprises, LLC d/b/a Erosion Restoration, LLC "Your Shoreline Protection Specialists" 6555 Powerline Rd., Ste. #302 Fort Lauderdale, FL 33309 O. 954-327-3300 F. 954-533-1556

118 Shamrock Blvd. Venice, FL 34293 O. 941-303-5238 F. 941-218-6113

www.landshore.com

| QTY. | MATERIAL | PRICE | AMO | UNT | |
|------|---------------------------------------|---------------|-----|-----|--|
| | A A A A A A A A A A A A A A A A A A A | | | | CRYSTAL |
| 1 | 3HH Squared | , | | | POOL SERVICES INC. |
| F | | | 710 | - | 10718 NW 53rd St. Sunrise, Florida 33351 |
| | moto | | 838 | | Office (954) 748-1306 Facsimile (954) 748-5998 |
| 14 | Day Ser | | 24. | - | acrystal@bellsouth.net • www.crystalpoolservicesinc.com |
| -1- | Seal plats | - | 202 | - | DATE 10 - 25 20 24 |
| 11 | Sear plate | | | | NAME Dalnut Creek- 170206 |
| | AR.I. | | 24. | ~ | ADDRESS |
| | Oking . | | al | | CITY PHONE Romald |
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| | | | | | motor 1 3 HP |
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| | | 0/112 00111 2 | | | Thank You PAY THIS AMOUNT C/ 1.763 |
| | | | | | Air |



RE: WC Crystal Pools APPROVAL Inv. No. 178206 New Motor for East Waterfall Filter Pump

From Gloria Perez <gperez@sdsinc.org>

Date Mon 10/28/2024 4:02 PM

- To Jeff kohler <acrystal@bellsouth.net>; Ronald Galvis <rGalvis@sdsinc.org>
- Cc Betty Ross (bar.one@juno.com) <bar.one@juno.com>; Gabrielle Vitucci <gvitucci@sdsinc.org>; Tori Shamy <tshamy@sdsinc.org>

Hi Jeff,

Please accept this email as the Approval for Crystal Pools Invoice #178206, dated 10/28/2024, in the amount of \$1,463.00, for a New Motor at the East Waterfall Pond Filter Pump. I have discussed this approval with Chairperson Betty Ross copied herein whom agrees with said approval.

Gabrielle and Ronald, we will be ratifying this action at a future meeting.

Thank you and have a great day,

Gloria Perez District Manager Special District Services, Inc. <u>gperez@sdsinc.org</u>

Office: 786-347-2711 Ext. 2011 Toll Free: 877-737-4922



www.sdsinc.org

BOARD MEMBERS: Please do not use the reply all feature of your e-mail as it may be deemed a violation of the Sunshine law. Please reply only to the management office. Under Florida Law, e-mail addresses are public records.

From: Jeff kohler <acrystal@bellsouth.net> Sent: Monday, October 28, 2024 3:17 PM To: Gloria Perez <gperez@sdsinc.org>; Ronald Galvis <rGalvis@sdsinc.org> Subject: Walnut Creek east pond filter pump needs new motor

Gloria

Upon arrival, East pond filter pump motor has gone bad. New 3 hp motor with seal plate, pump seal, tank oring installed, cost \$1,463.00. As attached is price breakdown. Please advise

Regards Jeff Kohler Crystal Pool Services



Quotation

 Quote Date
 Quote #

 10/25/2024
 28594

| c/o Special 2501A Burn Palm Beach Attention | ek Community Dev District Services, Ir hs Road h Gardens, FL 334 Cathy D. Deckert | nc. 10 | | Ship To Walnut Cro 1800 NW 7 Pembroke | 76th Ave Pines, | e. | | |
|--|---|--|-----------------|--|--------------------|----------|------------------|--------------------|
| P.O. Number | Terms | Ship Date | Shipped Via | Y F.C |).B. ' | | Proj | ect |
| | Net 30 | 10/25/2024 | HFI | <u> </u> | | | | |
| L-250-LED | LED Platter for SL | Descrip 250 Light Eixtur | | th mountin | | Qty 9 | Each | Amount |
| | LED Platter for SL: hardware Labor to repair and | | re, complete wi | ui mounun | iy | 9 1 | 332.00 875.00 | 2,988.00 875.00 |
| | Quote 28594 A 10/25/2024. Please provide commencemen <i>Ronald Galvis</i> Ronald Galvis - Walnut Creek O 10-25-2024 | e requested Co t of any job. Field Operati | OIs before the | | | | | |
| Tax # Year | 08/31/2025 Tax | Resale No. | 85-801262974 | 16C6 | Sale | es Ta | ax (0.0%) | \$0.00 |
| (т | his quotation is | valid for 60 o | days. | | To | tal | | \$3,863.00 |

\$1,890.00

Total

\$0.00

Estimate

Terms

Due on receipt

Total

195.00

100.00

120.00

30.00

20.00

Cost

195.00

50.00

120.00

30.00

20.00

1,425.00 1,425.00

Qty

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2

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1

1

1

| Date | Estimate # |
|------------|------------|
| 11/12/2024 | 2024-1769 |

Ship To

| Description BD LOOPS - 6X12 PREFORMED DIRECT BURIAL LOOP W/100' LEAD WIRE LOOP SEALANT-BLACK 1 QUART TUBE NORTHSTAR 12-24V LOOP DETECTOR HARNESS FOR RENO BX-3, BX-4, AX2, AX2DL 11 PIN FOR 1 & 2 CHANNEL LOOP DETECTORS SELF LEVELING SEALANT GRAY SHERIDAN RIGHT ENTRANCE SHADOW LOOP REPLACEMENT LABOR: - SAW CUT PAVERS FOR LOOP - GROUND LOOP INSTALLATION - SEAL SAW CUT - LOOP DETECTOR INSTALLATION AND CONNECTION <i>Moria Parez</i> , Dist. Manager | Sheridan Right Entr | |
|--|---------------------|---|
| LOOP SEALANT-BLACK 1 QUART TUBE NORTHSTAR 12-24V LOOP DETECTOR HARNESS FOR RENO BX-3, BX-4, AX2, AX2DL 11 PIN FOR 1 & 2 CHANNEL LOOP DETECTORS SELF LEVELING SEALANT GRAY SHERIDAN RIGHT ENTRANCE SHADOW LOOP REPLACEMENT LABOR: - SAW CUT PAVERS FOR LOOP - GROUND LOOP INSTALLATION - SEAL SAW CUT - LOOP DETECTOR INSTALLATION AND CONNECTION | | Description |
| NORTHSTAR 12-24V LOOP DETECTOR HARNESS FOR RENO BX-3, BX-4, AX2, AX2DL 11 PIN FOR 1 & 2 CHANNEL LOOP DETECTORS SELF LEVELING SEALANT GRAY SHERIDAN RIGHT ENTRANCE SHADOW LOOP REPLACEMENT LABOR: - SAW CUT PAVERS FOR LOOP - GROUND LOOP INSTALLATION - SEAL SAW CUT - LOOP DETECTOR INSTALLATION AND CONNECTION <i>Joria Parez</i> , Approved 11/15/2024 by Gloria Perez, | | |
| HARNESS FOR RENO BX-3, BX-4, AX2, AX2DL 11 PIN FOR 1 & 2 CHANNEL LOOP DETECTORS SELF LEVELING SEALANT GRAY SHERIDAN RIGHT ENTRANCE SHADOW LOOP REPLACEMENT LABOR: - SAW CUT PAVERS FOR LOOP - GROUND LOOP INSTALLATION - SEAL SAW CUT - LOOP DETECTOR INSTALLATION AND CONNECTION <i>Joria Parez</i> Approved 11/15/2024 by Gloria Perez, | | |
| DETECTORS SELF LEVELING SEALANT GRAY SHERIDAN RIGHT ENTRANCE SHADOW LOOP REPLACEMENT LABOR: - SAW CUT PAVERS FOR LOOP - GROUND LOOP INSTALLATION - SEAL SAW CUT - LOOP DETECTOR INSTALLATION AND CONNECTION <i>Joria Parez</i> Approved 11/15/2024 by Gloria Perez, | | |
| SELF LEVELING SEALANT GRAY SHERIDAN RIGHT ENTRANCE SHADOW LOOP REPLACEMENT LABOR: - SAW CUT PAVERS FOR LOOP - GROUND LOOP INSTALLATION - SEAL SAW CUT - LOOP DETECTOR INSTALLATION AND CONNECTION <i>Joria Parez</i> Approved 11/15/2024 by Gloria Perez, | | 100 Br 3, Br 1, Intel, Intel be fit into a constrained boot |
| SAW CUT PAVERS FOR LOOP GROUND LOOP INSTALLATION SEAL SAW CUT LOOP DETECTOR INSTALLATION AND CONNECTION <i>Joria Parsz</i> Approved 11/15/2024 by Gloria Perez, | | EALANT GRAY |
| - GROUND LOOP INSTALLATION - SEAL SAW CUT - LOOP DETECTOR INSTALLATION AND CONNECTION <i>Joria Perez</i> , Approved 11/15/2024 by Gloria Perez, | SHERIDAN RIGHT | 'ENTRANCE SHADOW LOOP REPLACEMENT LABOR: |
| - SEAL SAW CUT - LOOP DETECTOR INSTALLATION AND CONNECTION <i>Joria Paraz</i> Approved 11/15/2024 by Gloria Perez, | - SAW CUT PAVER | RS FOR LOOP |
| - LOOP DETECTOR INSTALLATION AND CONNECTION <i>Joria Paraz</i> Approved 11/15/2024 by Gloria Perez, | - GROUND LOOP I | NSTALLATION |
| <i>Gloria Perez</i> Approved 11/15/2024 by Gloria Perez, | - SEAL SAW CUT | |
| Approved 11/15/2024 by Gloria Perez, | - LOOP DETECTOR | R INSTALLATION AND CONNECTION |
| | | Approved 11/15/2024 by Gloria Perez, |

\$1,890.00

Subtotal

Sales Tax (7.0%)



WALNUT CREEK 7500 NW 20th St. Pembroke Pines, FL 33024

P.O. No.

REGIONS SECURITY "Ensuring A Safer Tomorrow"

Estimate

| Date | Estimate # |
|------------|------------|
| 11/18/2024 | 2024-1778 |

Name / Address

WALNUT CREEK 7500 NW 20th St. Pembroke Pines, FL 33024

| P.O. | No. | | | | | | | | Te | erms |
|------|--|------------------|----------------|-------------|---------------|---------|---------|-----|------------------|------------------|
| | | | | | | | | | Due o | n receipt |
| | | | | Description | | | | Qty | Cost | Total |
| | <i>Glori</i> Approved on 11/20/2 | by Glor 2024. | ia Perez, Dist | F NEW LED K | for Walnut Cr | eek CDD | 2ND ARM | | 225.00 300.00 | 225.00 300.00 |
| | Subto | otal | \$525.00 | Sales Ta | x (7.0%) | \$0.00 | Total | | | \$525.00 |

Ship To

SHEKINAH FENCE SERVICES LLC

LIC #20BS00378 shekinahfence@gmail.com SHEKINAHFENCESERVICESLLC.COM 786-339-6754

For: Pembroke Pines Walnut Creek rgalvis@sdsinc.org, Gperez@sdsinc.org WC SHERIDAN AND 72 AV (786) 413-7150

| Description | Quantity | Rate | Amount |
|---|----------|------------|------------|
| REPAIR FENCE SECTIONS BROKEN ALONG NW 72 AVE | 1 | \$1,756.00 | \$1,756.00 |
| 140' FEET CHAIN LINK BLACK 4' TALL 21' FEET TOP RAIL - 11 LOOP CAPS | | | |
| | Subto | otal | \$1,756.00 |
| | TAX | | \$0.00 |
| COI's and Affidavit are required prior to work commencement. | Та | otal | \$1,756.00 |
| V | Tot | al | \$1,756.00 |

Comments

PAYMENT TERMS : PAYMENT TERMS : ZELLE PAYMENT TO : 954-709-9761 ACH PAYMENT INFORMATION IS INCLUDED PAYMENT IN FULL WHEN FENCE INSTALLATION IS COMPLETE

Terms and Conditions

ACCEPTANCE OF PROPOSAL

THE ABOVE PRICES, SPECIFICATION AND CONDITION ARE SATISFACTORY AND ARE HEREBY ACCEPETED. YOU ARE AUTHORIZING TO DO THE WORK AS SPECIFIED. PAYMENTS WILL BE MADE AS UNDERLINED ABOVE. QUOTE IS ONLY VALID FOR 15 DAYS

STAFF MEMBERS ARE NOT RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND PIPE'S, LINE'S AND CABLE'S.

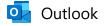


Estimate

Estimate No: Date: 6520 11/09/2024 SHEKINAH FENCE SERVICES LLC - Estimate 6520 - 11/09/2024

Gloria Perez

SHEKINAH FENCE SERVICES LLC Client's signature



RE: WC Estimate #6520 to review | SHEKINAH FENCE SERVICES LLC - APPROVED

From Gloria Perez <gperez@sdsinc.org>

Date Tue 11/12/2024 11:33 AM

- To shekinahfence@gmail.com < shekinahfence@gmail.com>; Betty Ross (bar.one@juno.com)

 shekinahfence@gmail.com>; Ronald Galvis <rGalvis@sdsinc.org>
- Cc Gabrielle Vitucci <gvitucci@sdsinc.org>

2 attachments (613 KB)

WC Shekinah APPROVED Est. 6520 Fence Repair (\$1,756) 2024-11-12.pdf; WC AFFIDAVIT OF COMPLIANCE WITH ANTIHUMAN TRAFFICKING.pdf;

Good morning All,

Attached, for your use and records please find the Shekinah Fence Services, LLC approved and electronically signed Est. 6520, in the amount of \$1,756.00, for fence repairs at the area that runs parallel to NW 72nd Ave.

This action was verbally approved by Chairperson Ross copied herein and will be presented to the Board for ratification and approval during a future meeting.

I have also attached an Affidavit of compliance with anti-human trafficking (attached) that needs to be fully completed pursuant to *Chapter 2024 – 184, Laws of Florida (HB 7063),* please forward me a fully executed and notarized copy via email for District records as soon as practicably possible as this is now a requirement.

Prior to the commencement of any job, and as typically done kindly provide Certificates of Insurance for our records via email to the attention of Ronald Galvis <u>rgalvis@sdsinc.org</u> and Brielle Barba <u>bbarba@sdsinc.org</u> copied herein; Certificates of Insurance are to consist of General Liability and Worker's Compensation, naming the District and Special District Services, Inc., as additional insureds and provide the waiver of subrogation.

The District's Certificate should read as follows:

Walnut Creek Community Development District C/O Special District Services, Inc. 2501A Burns Rd. Palm Beach Gardens, FL 33410

The description of the Operations section should read:

Walnut Creek Community Development District is listed as an additional insured in the general liability section of the contractor's insurance policy and provides a waiver of subrogation.

And on a separate certificate for Special District Services, Inc. to read:

Special District Services, Inc. 2501 A Burns Rd. Palm Beach Gardens, FL 33410

The description of the Operations section should read: Special District Services, Inc. is listed as an additional insured in the general liability section of the contractor's insurance policy and provides a waiver of subrogation.

Please coordinate the start date with Ronald once all required documents are in place. If you have any questions, please do not hesitate to contact Ronald or myself.

Thank you and have a great day,

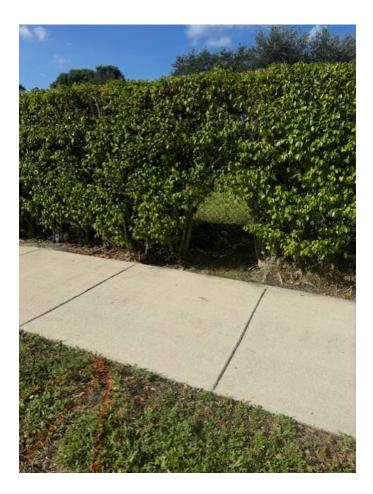
Gloria Perez District Manager Special District Services, Inc. <u>gperez@sdsinc.org</u>

Office: 786-347-2711 Ext. 2011 Toll Free: 877-737-4922



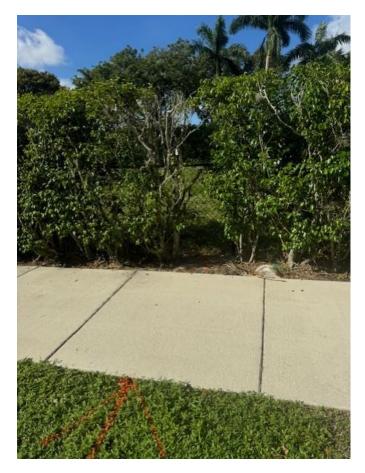
BOARD MEMBERS: Please do not use the reply all feature of your e-mail as it may be deemed a violation of the Sunshine law. Please reply only to the management office. Under Florida Law, e-mail addresses are public records.

From: SHEKINAH FENCE SERVICES LLC <invoice2go@communications.2go.com>
Sent: Saturday, November 9, 2024 3:08 PM
To: Ronald Galvis <rGalvis@sdsinc.org>; Gloria Perez <gperez@sdsinc.org>
Subject: Estimate #6520 to review | SHEKINAH FENCE SERVICES LLC

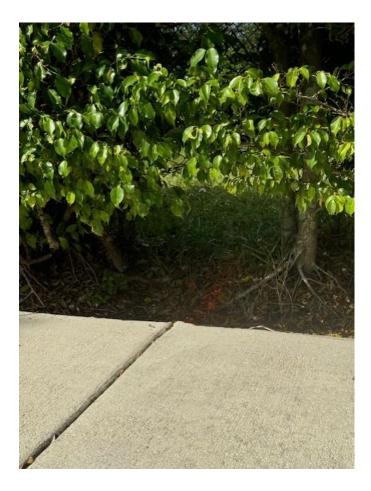






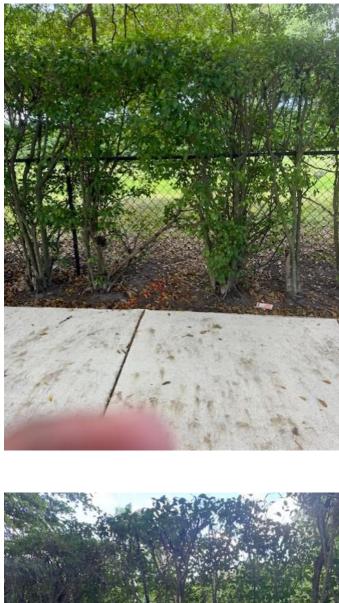




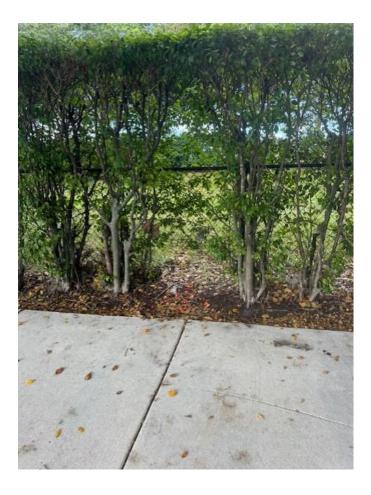


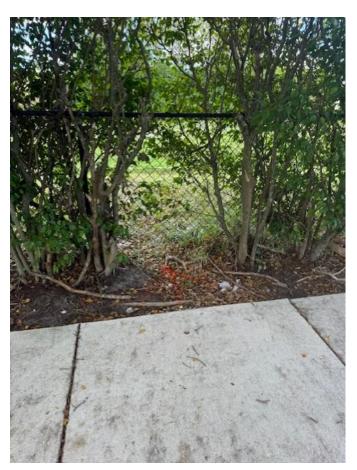




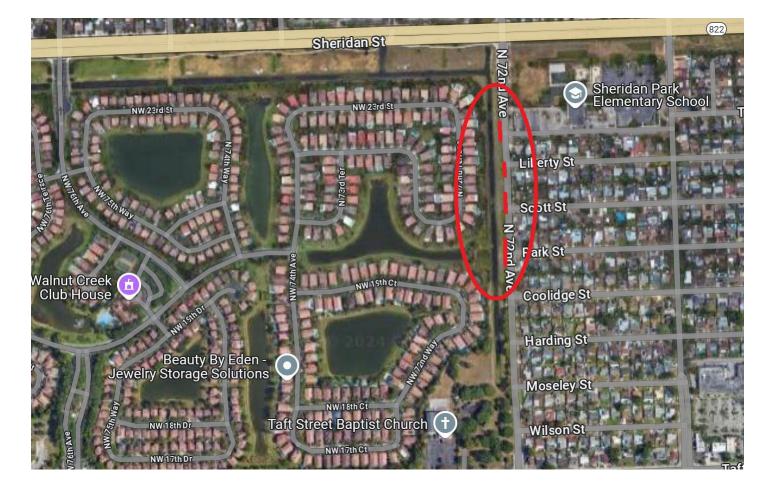














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6151 PEMBROKE RD HOLLYWOOD, FL 33023 MIAMI-DADE (305) 625-2600 BROWARD (954) 989-7162 FAX (954) 894-0334

EC0000345 / EC0003059

TIRONE-ELECTRIC.COM

12/06/2024 Time & Material 6D24-148

Walnut Creek Community Development.

7900 NW 20th Street Pembroke Pines, FL 33024

RE: GFI Breakers for East & West Water Fountains

In accordance with your request, Tirone Electric proposes to furnish all necessary labor, tools and supervision for a complete and operational installation to the above referenced project as per our on-site review and as per the following listed qualifications.

- 1. Replace 20 amp fountain breakers for East and West water fountains.
- 2. Troubleshooting power issues will incur additional charges.
- 3. This quote includes (2) GFI breakers, additional material will be charged separately if needed.
- 4. Labor and material warrantied for 1 year from date of installation.
- 5. Excessive loss of time due to delays of access to site will incur additional charges.

<u>Time and Material Service not to exceed the listed price without customer approval:</u> Five Hundred Seventy Fifty Dollars\$575.00

Approved and Accepted:

The above prices, specifications and conditions are accepted. Tirone Data is authorized to do the work as specified. Payments will be made as outlined above payable by cash, check or charge. In the event a lien or other legal measures are commended to secure payments on any portion of the contract sum, the prevailing party shall be entitled to receive all costs and reasonable attorney fees.

<u>Ralph Bomb</u>ardiere

Ralph Bombardiere Service Manager

Gloria Perez, District Manager Printed Name and Title

P.O. #









6D24-147 Walnut Creek Community Development

Final Audit Report

2024-12-09

| Created: 2024-12-09 | |
|--------------------------------|--------------------------------|
| By: Gloria Perez (gperez) | Dsdsinc.org) |
| Status: Signed | |
| Transaction ID: CBJCHBCAABAAm5 | a2ynaAws9HhJgyz75YfNY8bKwl6-Ql |

"6D24-147 Walnut Creek Community Development" History

- Document created by Gloria Perez (gperez@sdsinc.org) 2024-12-09 - 2:25:00 PM GMT
- Document emailed to ralph@tirone-electric.com for signature 2024-12-09 - 2:25:48 PM GMT
- Email viewed by ralph@tirone-electric.com 2024-12-09 - 2:26:02 PM GMT
- Signer ralph@tirone-electric.com entered name at signing as Ralph Bombardiere 2024-12-09 2:32:45 PM GMT
- Document e-signed by Ralph Bombardiere (ralph@tirone-electric.com) Signature Date: 2024-12-09 - 2:32:47 PM GMT - Time Source: server
- Agreement completed.
 2024-12-09 2:32:47 PM GMT

Adobe Acrobat Sign



6151 PEMBROKE RD HOLLYWOOD, FL 33023 MIAMI-DADE (305) 625-2600 BROWARD (954) 989-7162 FAX (954) 894-0334

EC0000345 / EC0003059

TIRONE-ELECTRIC.COM

01/03/2025 Time & Material 6D24-150

Walnut Creek Community Development.

7900 NW 20th Street Pembroke Pines, FL 33024

RE: Light Bulb Replacement in Multiple Areas

In accordance with your request, Tirone Electric proposes to furnish all necessary labor, tools and supervision for a complete and operational installation to the above referenced project as per our on-site review and as per the following listed qualifications.

- 1. Retrofit (2) light poles by Taft St. entrance (2) recessed light bulbs and (1) by east wall pavilion.
- 2. Troubleshooting power issues will incur additional charges.
- 3. Labor and material warrantied for 1 year from date of installation.
- 4. Excessive loss of time due to delays of access to site will incur additional charges.

<u>Time and Material Service not to exceed the listed price without customer approval:</u>

Five Hundred Seventy Fifty Dollars\$575.00 Approved and Accepted:

The above prices, specifications and conditions are accepted. Tirone Data is authorized to do the work as specified. Payments will be made as outlined above payable by cash, check or charge. In the event a lien or other legal measures are commended to secure payments on any portion of the contract sum, the prevailing party shall be entitled to receive all costs and reasonable attorney fees.

Ralph Bombardiere

Ralph Bombardiere Service Manager

| Gloria Perez, District Manager | N/A |
|--------------------------------|--------|
| Printed Name and Title | P.O. # |

- Approved by District Manager Gloria Perez on January 3rd, 2025.
- Requested COIs must be provided before the commencement of any job. <u>*PP*</u> <u>*RB*</u>
 Requested executed Affidavit of Compliance with Anti-Human Trafficking Laws (enclosed).









AFFIDAVIT OF COMPLIANCE WITH ANTI-HUMAN TRAFFICKING LAWS

In compliance with Section 787.06 (13), Florida Statutes, this attestation must be completed <u>by an</u>
<u>officer or representative of a nongovernmental entity</u> that is executing, renewing, or extending a contract
with <u>Walnut Creek</u> Community Development
District (the "Governmental Entity").

The undersigned, on behalf of the entity listed below (the "Nongovernmental Entity"), hereby attests under penalty of perjury as follows:

1. Neither the Nongovernmental Entity nor any of its subsidiaries or affiliates uses coercion for labor or services, as such italicized terms are defined in Section 787.06, Florida Statutes, as may be amended from time to time.

2. If, at any time in the future, the Nongovernmental Entity uses coercion for labor or services, it will immediately notify the Governmental Entity, and no contracts may be executed, renewed, or extended between the parties.

3. I understand that I am swearing or affirming under oath to the truthfulness of the claims made in this affidavit and that the punishment for knowingly making a false statement includes fines and/or imprisonment.

4. The Affiant is authorized to execute this Affidavit on behalf of the Nongovernmental Entity.

.

FURTHER AFFIANT SAYETH NAUGHT.

| NONGOVERNMENTAL ENTITY: THOME JECTIC Inc | d/b/a Time Electric |
|--|---------------------|
| NAME: Jennifer Morgan | & Data |
| TITLE: Corporate Schetary | |
| SIGNATURE: UNAL MY | |
| DATE:, 2024 | |

STATE OF FLORIDA COUNTY OF Broward

| SWORN TO (or affirmed) and sub | scribed before me by | y means of [X] physical presence or [] |
|--|----------------------|--|
| online notarization, this A | day of | Nov 2024, by |
| Jenniter Morgan | in his/her capacit | An Cat Cat Cat Ca |
| ILVONE Electricanc. | (name of Nongo | overnmental Entity). |
| | 4 | |
| | \sim | |
| | NOTARY PUBLIC | С |
| Personally Known OR Produced Identification | | BONNIE ELIZABETH PRAT Notary Public - State of Florida Commission # HH 427380 My Comm. Expires Jul 30, 2027 |
| Type of Identification Produced | | Bonded through National Notary Assn. |

WC Tirone APPROVED Est. 6D24-150 Taft Lights Replace \$575 (2025-01-03) (002)

Final Audit Report

2025-01-06

| Created: | 2025-01-05 |
|-----------------|--|
| By: | Gloria Perez (gperez@sdsinc.org) |
| Status: | Signed |
| Transaction ID: | CBJCHBCAABAAohcww60ggkXoekC-1M59KkCYa2HfBqQZ |
| | |

"WC Tirone APPROVED Est. 6D24-150 Taft Lights Replace \$57 5 (2025-01-03) (002)" History

- Document created by Gloria Perez (gperez@sdsinc.org) 2025-01-05 - 7:24:53 PM GMT
- Document emailed to ralph@tirone-electric.com for signature 2025-01-05 - 7:25:40 PM GMT
- Email viewed by ralph@tirone-electric.com 2025-01-06 - 12:03:45 PM GMT
- Signer ralph@tirone-electric.com entered name at signing as Ralph Bombardiere 2025-01-06 12:04:53 PM GMT
- Document e-signed by Ralph Bombardiere (ralph@tirone-electric.com) Signature Date: 2025-01-06 - 12:04:55 PM GMT - Time Source: server
- Agreement completed. 2025-01-06 - 12:04:55 PM GMT



3300 CORPORATE AVENUE, SUITE 100 WESTON, FL 33331 MIAMI-DADE (305) 625-2600 BROWARD (954) 989-7162 FAX (954) 894-0334

EC0000345 / EC0003059

TIRONE-ELECTRIC.COM November 8, 2024 Proposal

6D24-209

Site: Walnut Creek 7900 NW 20th Street Pembroke Pines, FL 33024

RE: Pole Light Head Replacement

In accordance with your request, Tirone Electric, Inc. proposes to furnish all necessary labor, tools, materials and supervision for a complete and operational electrical installation to the above referenced project as per our on-site review and as per the following listed qualifications.

- 1) Supply and replace (1) pole light head at Taft Street entrance, (1) bulb is included.
- 2) Time for troubleshooting other issues, not included in this quote and will incur additional charges.
- 3) Permits and engineering fees are not included.
- 4) This quote is valid for 30 days from the date above.
- 5) All work to be performed Monday through Friday during normal business hours.
- 6) All material and labor are warrantied for 1 year from date of install. Any damage due to Mother Nature or vandalism is not warrantied.

Printed Name and Title

Approved and Accepted:

The above prices, specifications and conditions are accepted. Tirone Electric, Inc. is authorized to do the work as specified. Payments will be made as outlined above. In the event a lien or other legal measures are commended to secure payments on any portion of the contract sum, the prevailing party shall be entitled to receive all costs and reasonable attorney fees.

Gloria Perez, District Manager

Gloria Perez

Signature

Respectfully submitted,

Ralph Bombardiere Service Manager









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11/20/2024 PO/Date

Requested COIs must be provided before Commencement of any work. \mathcal{JP}

Affidavit of compliance with anti-human trafficking (sent via email) needs to be fully completed/executed (Signed and notarized) pursuant to Chapter 2024–184, Laws of Florida (HB 7063). \mathcal{PP}

Work to be done using selections pointed out (red circles) on the specs sheet. $\underline{\mathcal{GP}}$



The SL900 is ideal for use in commercial centers, industrial parks, school campuses, parks, and residential subdivisions. Its various options allow for architectural styles from Colonial to Art Deco to Contemporary.

SL900 SERIES POST TOP LUMINAIRE



PROUDLY MADE IN THE USA!

Overview

Wattage:up to 86 wattLumen Output:up to 10,943 lmColor temp:2700K, 3000K, 4000KDimming:0-10v dimmingLamping option:Mogul base option available

Wattage (values shown SY optic 30K)

30 watt (3695 lm) 44 watt (5308 lm) 60 watt (7111 lm) 86 watt (9524 lm) Mogul Base Socket (54 watt max, lamp by others)

Optics / Distribution

Symmetric (SY) Asymmetric (AS) Street Optic (SO) Mogul base socket (MOG)

Electrical

Over voltage and short circuit protected driver Series connected 10kV/20kA surge protector 120-277 auto voltage sensing

Luminaire Body

Cast aluminum fitter designed for 3" O.D. tenon secured with (3) stainless steel set screws. Optional cast aluminum ribs and formed crown available. Spun aluminum or optional polycarbonate injection molded dome. Cast aluminum finial options.

Finish

Polyester powder coat paint in accordance with AAMA 2603 standards. Contact factory for complete specifications.

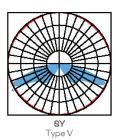


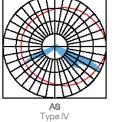
SL900 SERIES POST TOP LUMINAIRE

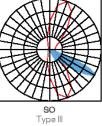
Ordering Information

| MODEL | WATTAGE | OPTICAL NOT AVAILABLE WITH MOGUL BASE | ССТ | CROWN & RIBS | DOME | ТОР САР | FINIAL | FINISH |
|-------|---|--|----------------------|---|--|--|--|--|
| SL900 | 30 44 60 86 MOGUL BASE*** **** 54 WATT MAX CORN BULB BY OTHERS | SY SYMMETRICAL AS ASYMMETRICAL SO STREET OPTICS | 2700 3000 4000 | CAD ART DECO STYLE CFT FLOWER TOP CSP SIMPLE NA NONE | PD POLYCARNONATE DOME SD SPUN ALUMINUM DOME | CP CLEAR POLYCARBONATE* CA CAST ALUMINUM* SPUN ALUMINUM** * ONLY AVAILABLE WITH POLYCARBONATE DOME ** ONLY AVAILABLE WITH SPUN ALUMINUM DOME | RD ROUND FL FLOWER SL STREET LAMP | BK BLACK WH WHITE DB DARK BRONZE GR GREEN RAL OPTIONS AVAILABLE |

LIGHT DISTRIBUTION TYPES







FINIAL OPTIONS



RIB OPTIONS





MAX EPA 1.8 SQ FT MAX WEIGHT 27 LBS



Walnut Creek CDD Gate Performance

DECEMBER 1st 2024 – DECEMBER 31st 2024

1 <u>25,525</u> Total Entries Recorded.

• An increase of 10,452 total recorded entries.

7,433 Total Residents Recorded.

- **5,680** QR Invites Scanned.
 - An increase of 2,696.

This averages out to ...

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| | T | - |

- 823 entries per day
- <u>34</u> entries per hour



Walnut Creek CDD CENSUS (AS OF 1/6/2025)

- **704** Units have logged into the application. (UP BY 45)
- **193** Units have not logged into the application.
- **3,237** Total Residents in the system. (DOWN BY 25)
- **3,127** Total Residents Vehicles in the system. (UP BY 53)
- **5,770** Total Permanent Visitors in the system. (UP BY 237)



Rover Performance

MOVEMENT MAP (DECEMBER 1ST – DECEMBER 31ST)



Misc. Statistics

Vehicle utilization rate during scheduled times – 97.2%

Vehicle idling time percentage average – 7.7% (a decrease of 4 percentage points)

Busiest days during period – December 1st, December 15th, December 31st

| Oistance traveled | 🔒 Assets not moving | 🗘 Utilization rate | Aggressive driving | Reference International Intern |
|----------------------------|---------------------|---------------------------------|--------------------|--|
| 1,553 mi * ^{387%} | 1 | 97.2% * ^{31.21} | 0 | 7.7% ^{-1.31} |

We appreciate everyone's continued feedback & support.